



5722 APARTMENTS

5722 35TH AVE S, SEATTLE, WA

SDCI Project #3036025-LU

Recommendation Meeting | REC
Southeast Design Review Board

DRAFT

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PROJECT TEAM

OWNER
Greater Seattle Development, LLC
8423 22nd Ave SE
Olympia, WA 98513

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Studio19 Architects
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Seattle, WA 98104
206.466.1225

LANDSCAPE ARCHITECT
AHBL
1220 6th Ave, Suite 1620
Seattle, WA 98101
206.267.2425

SITE INFORMATION

Project Location:
5722 35th Ave S,
Seattle WA 98118

Parcel #:
2224049007

Lot Size:
34,100 SF

FAR Allowed:
5.5

Base Zone:
NC2-75 (M) (Neighborhood Commercial 2-75)

Overlay Zones:
Southeast Seattle Reinvestment Area
Othello (Residential Urban Village)

Design Guidelines:
Seattle Design Guidelines
Othello Neighborhood Design Guidelines

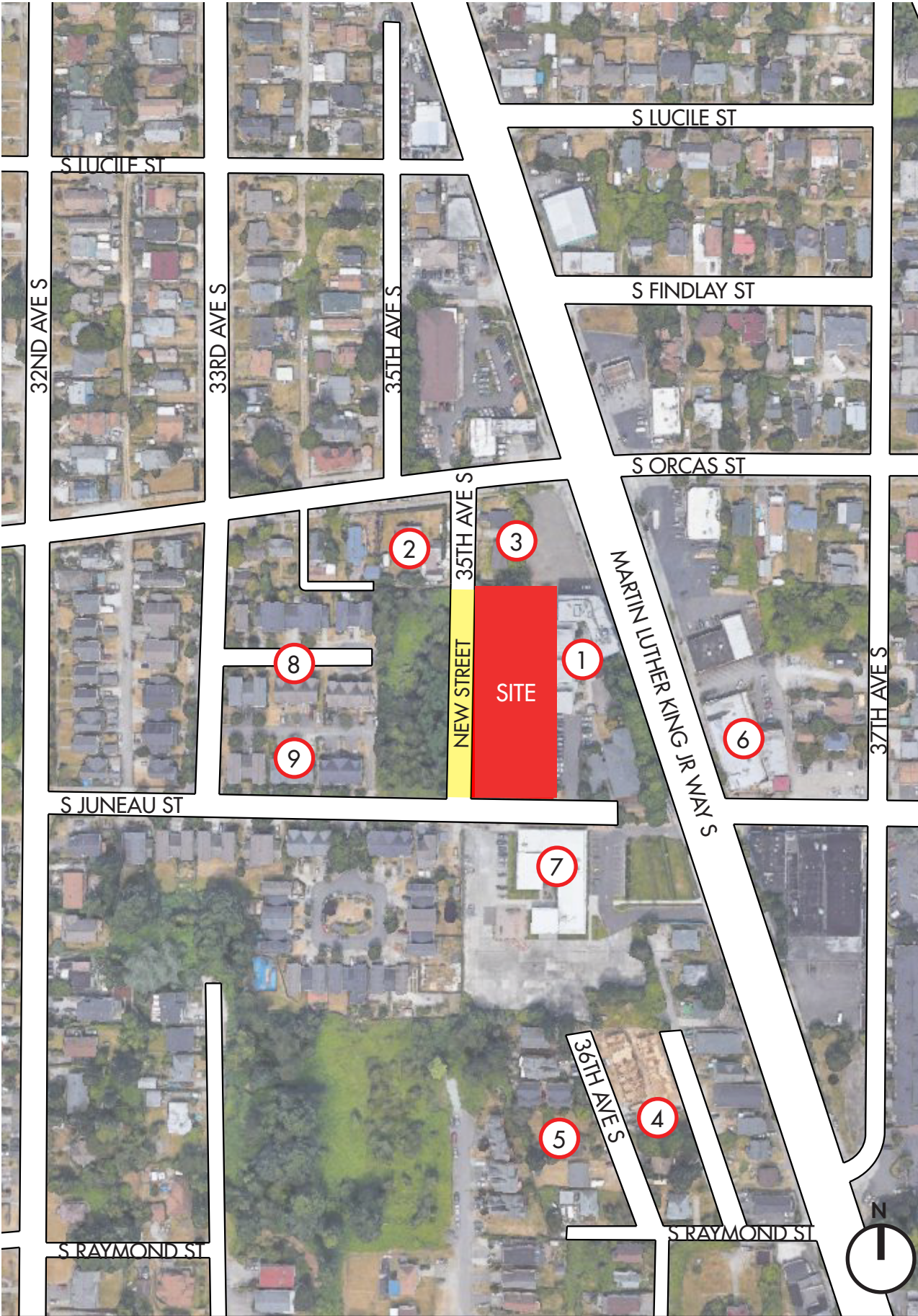
Proposal Summary:

· Total Gross Floor Area:	204,610 SF
· Building Height:	75 FT
· Number of Residential Units:	260
· Total Commercial SF:	0 SF
· Live Work Units:	0
· Parking Stalls at Basement Level:	153
· Bike Stalls:	268 Long term stalls, 14 Short term stalls

Project Description:
The proposed development includes 1 level of below grade parking and 7 stories of apartments (unit count 260) with typical tenant amenities and outdoor common areas.



SITE ANALYSIS SURROUNDING BUILDINGS



1- KATHERINE'S PLACE
3512 S JUNEAU ST | HOMELESS SERVICE

- 25 Units of low-income family housing.
- 15 Units are subsidized by Seattle Housing Authority and are reserved for homeless families with children.



2- 3501 S ORCAS ST
3501 S ORCAS ST | HOUSE

- 1 story single family house that abuts the project site and is adjacent to 39th Ave S.



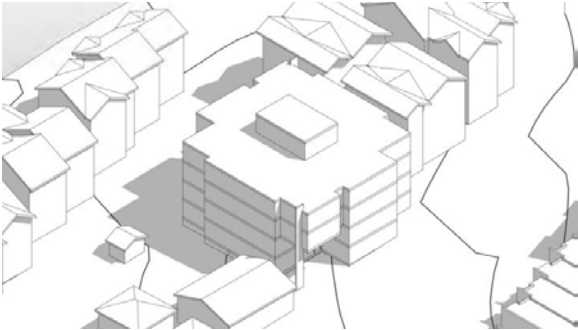
3- 3327 S ORCAS ST
3327 S ORCAS ST | HOUSE

- 1 story single family house that abuts the neighboring project site and is adjacent to 39th Ave S.



4- BRIGHTON STATION TOWNHOMES
5944 36TH AVE S | TOWNHOUSES

- 8 Units with 7 surface level parking stalls with each unit including 3 bedrooms.



5- 5949 APARTMENTS
5949 35TH AVE S | APARTMENTS

- 4 story multifamily apartment building consisting of 55 small efficiency dwelling units.



6- FILIPINO COMMUNITY VILLAGE
5740 MLK JR. WAY S | COMMUNITY CENTER

- Public community center that concentrates on socioeconomic development.
- Includes youth and senior programs.



7- AMARA
5907 MLK JR. WAY S | FOSTER CARE SERVICES

- 1 story building with a non-profit that serves children in foster care and the families who care for them.



8- S MEAD ST NEIGHBORHOOD
S MEAD ST | NEIGHBORHOOD

- One of neighborhoods that abut the adjacent site to the project site.
- The neighborhood consists of fourplex and duplex homes.



9- PRIVATE NEIGHBORHOOD
PRIVATE DRIVE | NEIGHBORHOOD

- One of neighborhoods that abut the adjacent site to our project. The neighborhood consists of fourplex homes.

SITE ANALYSIS CONTEXT MASSING / USES



- Site
- Multi-family Housing
- Single Family Housing
- Retail / Service
- Park / Green Coverage
- Future Development
- Other Uses



ZONING SUMMARY ZONE NC2-75 (M1)

Permitted Uses 23.47.004

- Residential (including congregate residences if owned by certain entities or located within urban villages)
- Restaurants - Limited to 25,000 SF
- Drinking Establishments - Conditionally Permitted limited to 25,000 SF
- Offices - Limited to 25,000 SF
- Retail sales, multipurpose - Limited to 50,000 SF
- Live-work units, parks and open space, community gardens

Street-level Development Standards 23.47A.008

- Blank segments of the street-facing facade between 2 feet and 8 feet above sidewalk may not exceed 20 feet in width. Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent.
- Non-residential uses at street level shall have a floor-to-floor height of at least 13'
- Non-residential uses shall extend an average depth of at least 30 feet and a minimum depth of 15 feet from the street-level street-facing facade

Structure Height 23.47A.012

- The height limit is: 75'-0"
- The structure might exceed the limit by 7 feet provided all of the following conditions are met:
- The total gross floor area of at least one multi-purpose retail sales use exceeds 12,000 square feet;
 - A floor-to-floor height of 16 feet or more is provided for the multi-purpose retail sales use at street level;
 - The additional height allowed for the structure will not allow an additional story beyond the number that could be built under the otherwise applicable height limit;
 - Residential and multipurpose retail sales uses are located in the same structure. Open railings, planters, parapets etc. May extend up to 4 feet above the applicable height limit. Insulation, rooftop decks, and soil - 2 feet. Mechanical equipment -15 feet, stair and elevator penthouses - 16 feet.

Floor Area Ratio 23.47A.013

- Maximum FAR for all uses for building with height limit 75' is 5.5.
- The following gross floor area is not counted toward FAR:
- All portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access

Setback Requirements 23.47A.014

- For zones with a height limit of 75 feet, portions of structures above 65 feet must be set back from the front lot line by an average depth of 8 feet.
- Facade modulation. For structures with a width of more than 250 feet, at least one portion of the structure 30 feet or greater in width must be set back a minimum of 15 feet from the front property line. For structures with a width of more than 500 feet, at least two portions of the structure 30 feet or greater in width and separated by at least 100 feet must be set back a minimum of 15 feet from the front property line.

Landscaping and Screening Standards 23.47A.016

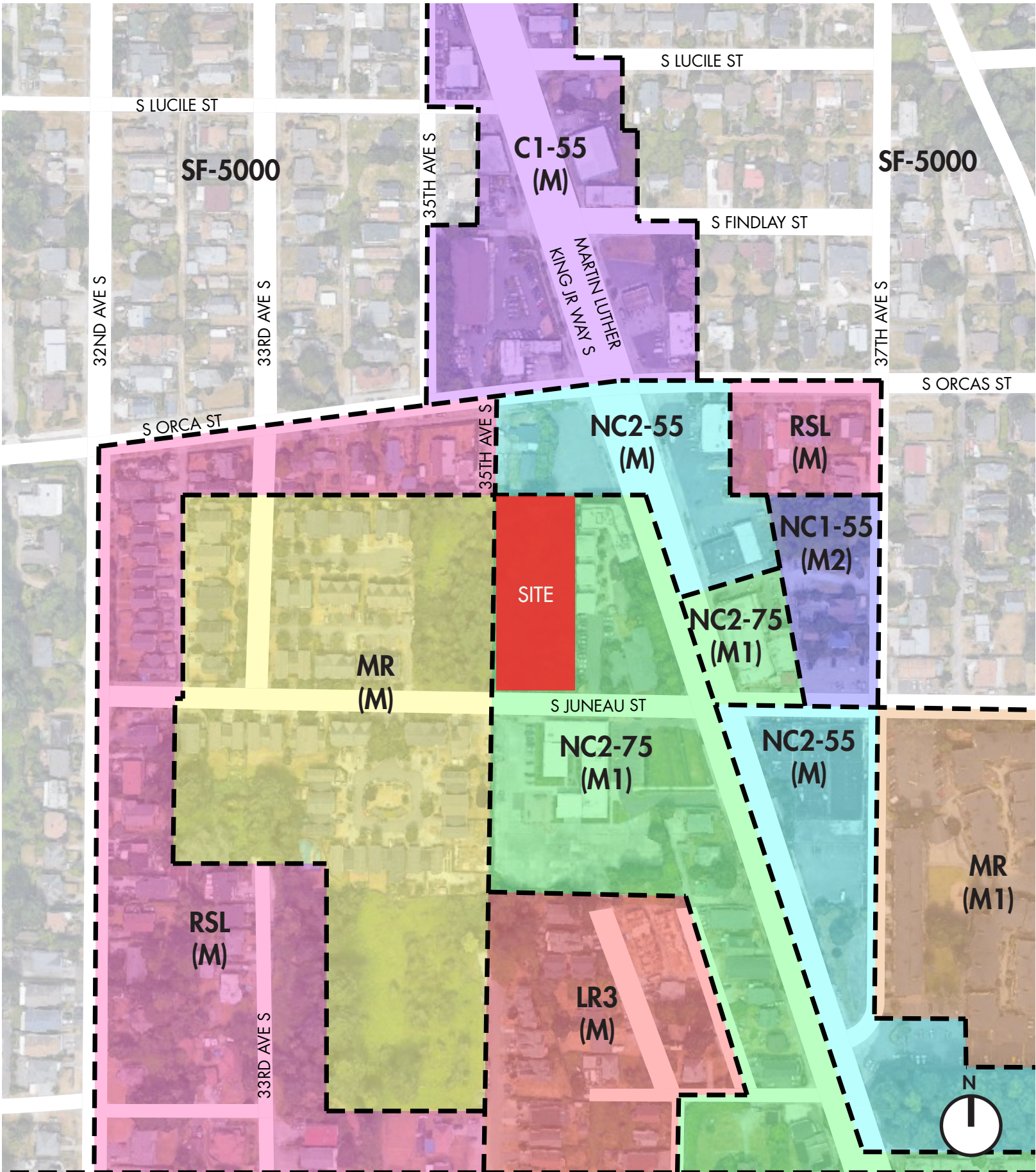
- Green Factor Requirement: .30 or greater determined as set forth in Section 23.86.019

Residential Amenity Areas 23.47A.024

- Required Area: 5% of the total gross floor area in residential use
- Minimum horizontal dimension of the amenity: 10 feet, minimum area: 250 SF
- Private balconies: min horizontal dimension: 6 feet, minimum area 60 SF

Required parking 23.54.015

- Access to parking shall be from the alley if the lot abuts an alley improved to the standards of subsection 23.53.030.C.





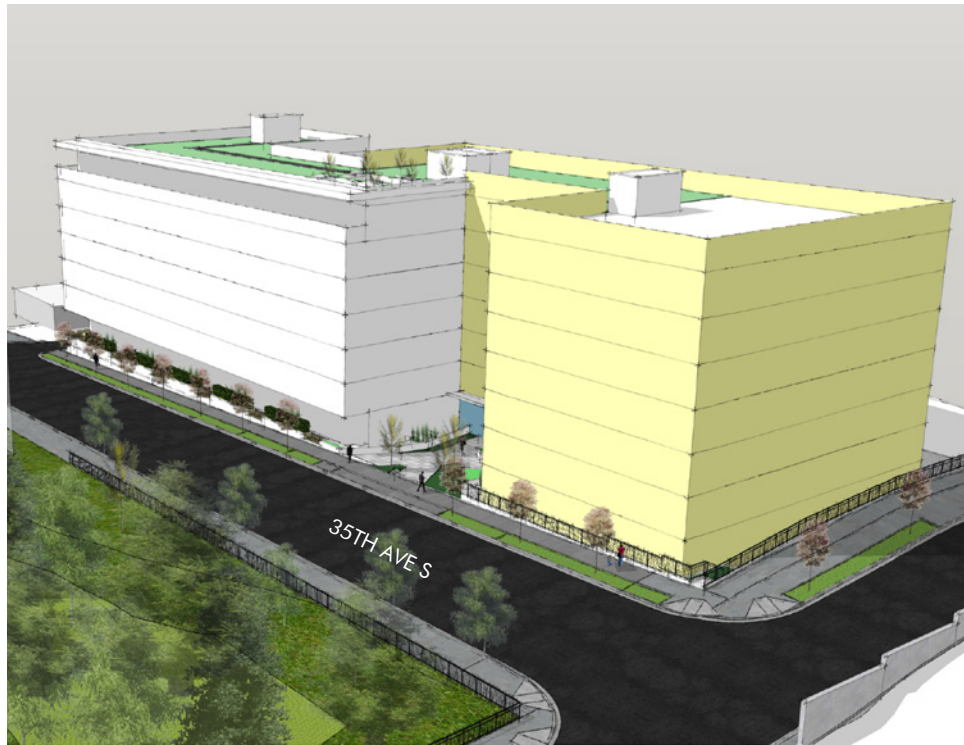
CONCEPT 1

- PROS:
- Vertical modulation to reduce the perceived massing
 - Building broken down into three main massing volumes to reduce scale
 - Residential uses located at ground level to activate the street front
 - Multiple public and private courtyard spaces along street front
 - Large private courtyard at east facade for residents
 - Roof deck amenity space
- CONS:
- Smaller unit count
 - Smaller public plaza
 - Less units located along the street front
- DEPARTURES:
- None Requested



CONCEPT 2 | PREFERRED

- PROS:
- Simple massing provides clarity in design
 - Building massing opens up to centralized courtyard space
 - Residential uses located at ground level to activate the street front
 - Multiple public and private courtyard spaces along street front
 - Roof deck amenity space
- CONS:
- Smaller unit count
 - Smaller residential plaza located along east facade
- DEPARTURES:
- SMC 23.47A.008.A.2 - Blank facades
Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width. The total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street.



CONCEPT 3

- PROS
- Simple massing provides clarity in design
 - Two interlocking L-Shape volumes create generous public plaza along street front and private plaza along east façade
 - Building cantilever along street front provides outdoor covered space
 - Recessed plaza along east façade provides relief from neighboring property
 - Residential uses located at ground level to activate the street front
 - Multiple public and private courtyard spaces along street front
 - Roof deck amenity space
- CONS
- Less private outdoor space for residents along the streetfront
- DEPARTURES:
- SMC 23.47A.008 - Street-Level Development Standards
Street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.

EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

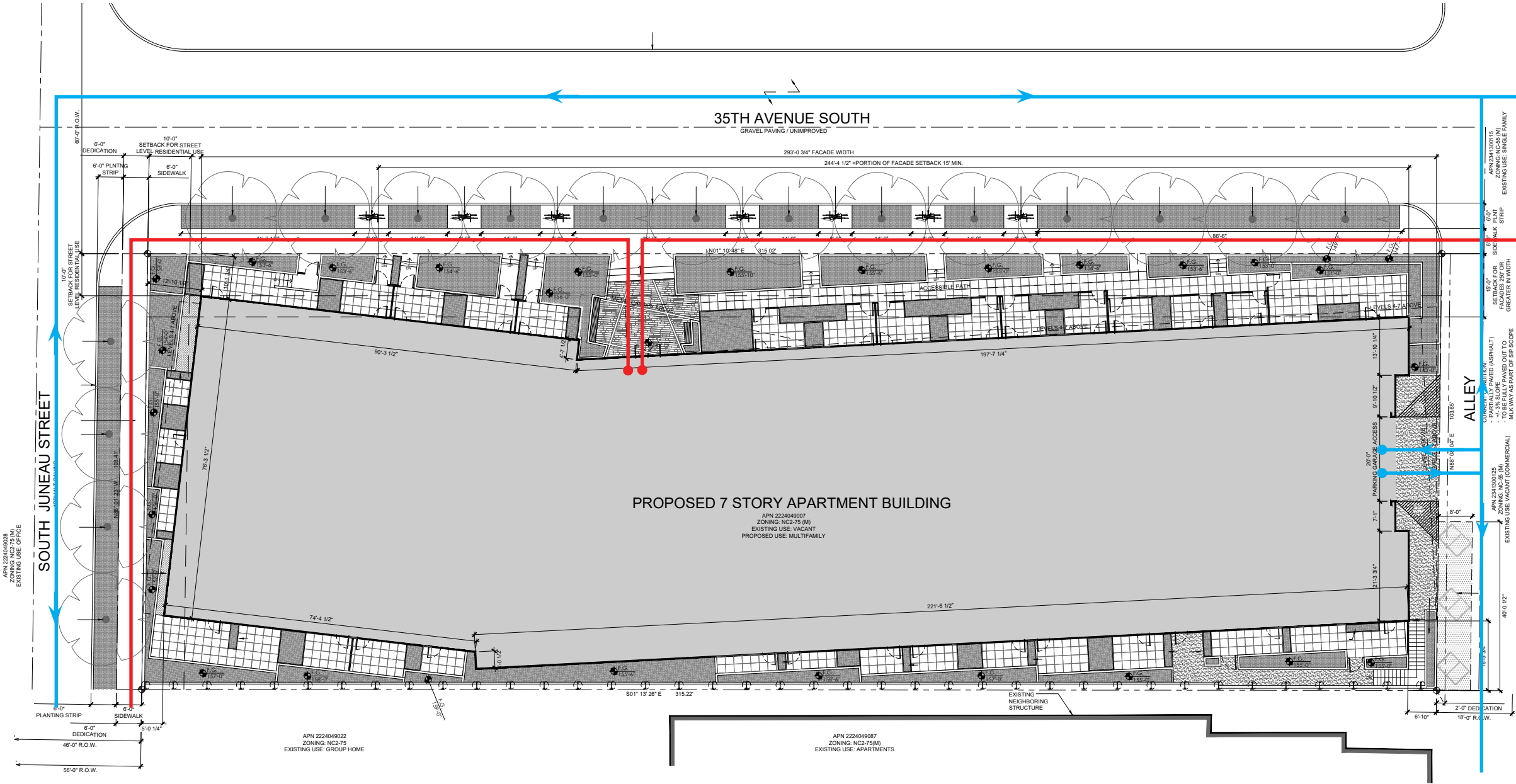
1. SITE PLAN AND STREETScape

- a. All Board members cited positive aspects of Concept 2. There was not complete agreement on the other options.
- i. Some Board members expressed an appreciation for Concept 1 and the generous and consistent buffer. Not all Board members agreed specifically in EARLY DESIGN GUIDANCE #3033854-EG Page 4 of 16 regard to the mid-block plaza as a potential barrier to activation. (PL1, PL2 and DC3-B)
- ii. The Board described Concept 2 as having the best of both worlds with a continuous ground plane to set up a connection to the street and a generous pull back that creates an entry plaza that could be activated with seating or other uses. (CS2-B and PL3-2)
- b. The Board suggested highlighting the new part of SW 35th as a more pedestrian area. They informed the applicant that they would be willing to support traffic calming features on this side if SDOT agrees. (DC-1B)
- c. The Board stated that more clarity around the hierarchy within the design will be required, specifically regarding how the proposal will separate vehicular and pedestrian access. (DC-1B)

RESPONSE:

The design has been developed based on the Concept 2 shown in the EDG package according to the board’s comments. The generous setback and the continuous ground plane along the 35th Ave South are provided to promote a natural flow of pedestrian circulation, create a connection to the street and activate the street front. The generous set back also provides an area for the private patio spaces for the units as well as ample landscaping and pedestrian sidewalk area. All of these have highlighted the residential character of 35th Avenue. The extra pull back at the main entry also creates a plaza that will be furnished with seating and pavers integrated with public art.

As shown in the diagram, there is clearly separated access for pedestrians and vehicles. The pedestrians enter the building entrance located along 35th Avenue, which is buffered by landscaping and street trees from the vehicles. Vehicles will enter the building through the garage entrance from the alley located at the north end of the property.



1.C VEHICULAR AND PEDESTRIAN ACCESS ROUTES

PEDESTRIAN / VEHICULAR CIRCULATION LEGEND

- Pedestrian path
- Vehicular path



EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

1. SITE PLAN AND STREETScape

- d. The Board requested an exploration of artwork as a way of activating public space, including but not limited to in the hardscape on the buildings or at the entrances. Information about the artist's portfolio and conceptual artwork options for review will suffice at the Recommendation meeting. (CSB-3)
- e. Board members reminded the applicant that expected to see a lighting plan at the recommendation phase and underlined its importance evaluating how well the project meetings design guidelines. (PL2-I-ii.)



1.PAVER AT ENTRY PLAZA / ARTWORK

RESPONSE:

The proposed design incorporates artwork in multiple locations through various medias, which include on the building entry canopy, integrated into the entrance plaza pavers and on the north building corner entering the development. The artwork on the building entry canopy glass provides sunshade and brings attention to the building entrance to make it stand out from the surroundings. The artwork incorporated into the pavers at the building entry public plaza, which are different languages of "HOME" by local artists, inspired by the "O! Hello Othello!" project by Onboard Othello, is a fun representation of the cultural diversity in the Othello neighborhood. It also brings the human scale and interest to the space while activating the plaza at the same time. The artwork is placed on the north corner of the building along 35th Avenue S and provides signage and wayfinding for the public and residents.

The lighting plans are provided in the REC packet.



3.METAL SIGNAGE ON CONCRETE



2.ANGLED CANOPY WITH TRANSLUCENT TEXTURE



EDG RESPONSE

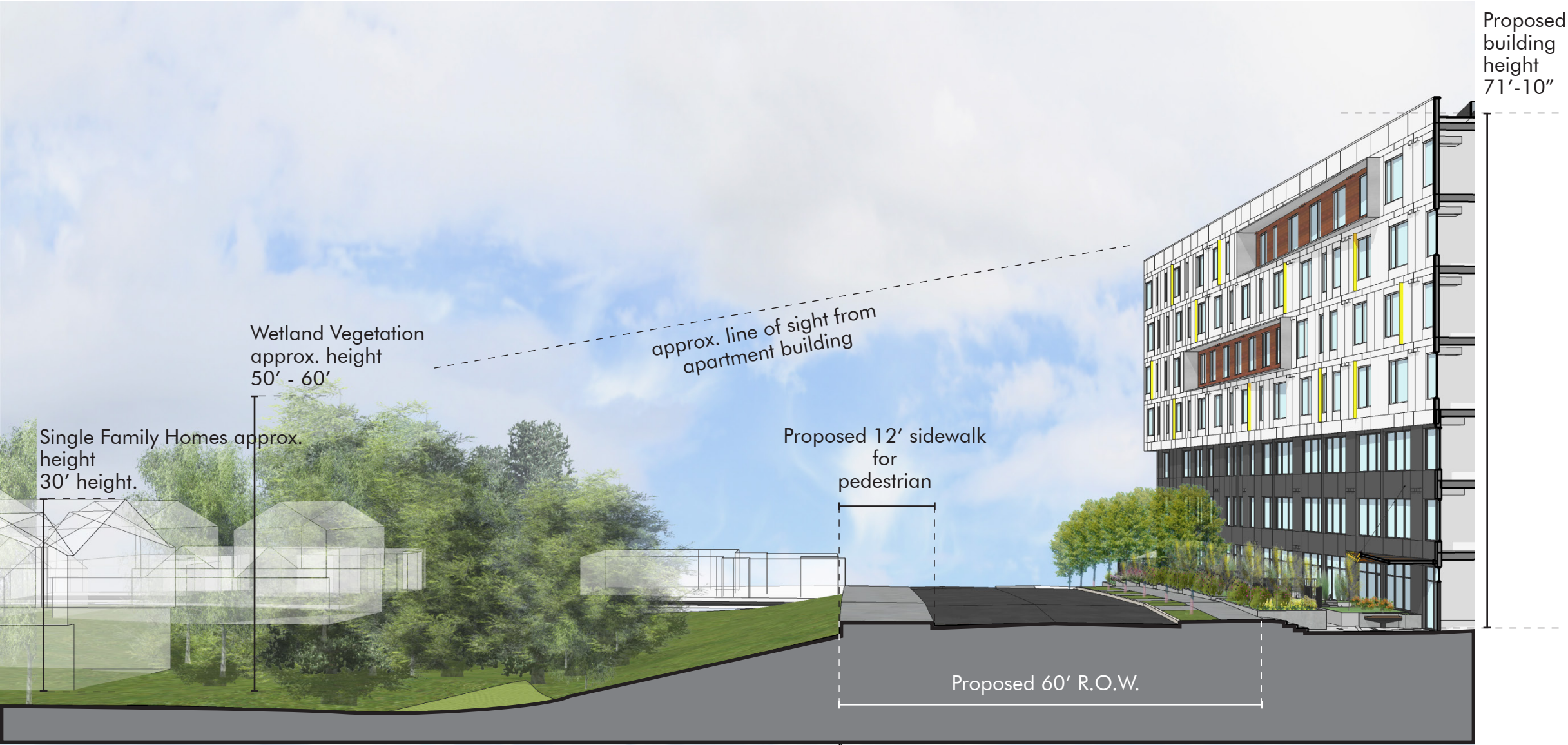
BOARD RECOMMENDATIONS & RESPONSES:

1. SITE PLAN AND STREETScape

f. The wetland nearby is unique to the neighborhood context and the Board would like to see sections demonstrating how the building relates to this feature. (CS1-D and CS1-E-1)

RESPONSE:

We are proposing the shift the centerline of the new street to be closer to the east so that there is more of a buffer between this project and the wetland, which will be used as an amenity area for the public. The building's main façade and building entry face the wetland in order to maximize the resident's views of this feature. The heavily vegetated wetland functions as a visual and acoustic barrier between the apartment building and the existing single-family houses to the west. A section through this area is provided in the packet.



EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

2. MASSING AND BULK

- a. The Board expressed concern about the modernness of the form of Concept 2. They said this should be softened with focus on the ground plane, lush plantings and careful detailing. They clarified that this did not require the building must be traditional in styling. (DC-2-D)
- i. This point was strengthened by a request from the Board to explore stoops and lots of porosity on the ground floor. The Board noted this is particularly important because of the site's proximity to the light rail station. (PL-3-2 and PL3-I-ii)
- ii. The Board said that a "neighborly feel" would more successfully integrate the ground plane, rather than large gestures like an open plaza. (DC-2-C)



GROUND PLANE DESIGN - TOWARDS 35TH AVE S

RESPONSE:

Taking the board's comments into consideration, the ground floor plaza has been broken down into smaller spaces and carefully detailed individually, in order to achieve a "neighborly feel" as well as to soften the modern appearance of the building. The individual patios and stoops are created on both the west and east sides of the building to provide privacy to the individual units on the ground floor. The lush landscape along with the site furniture and planters add the neighborly feel to the street level, as well as a pedestrian scale along the street front.



'NEIGHBORLY FEEL' PEDESTIAN EXPERIENCE



STOOPS AND POROSITY ON THE GROUND FLOOR

EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

2. MASSING AND BULK

- iii. The Board stated that Concept 1 had positive attributes, including the safety, walkability and transition provided by this option. There was not agreement that this was, in and of itself, a preferred option. (PL-3)
- 1. The Board unanimously agreed that consideration of the buffer on the east side should be taken. Maintaining the 30 feet setback on the north was suggested. They said slightly less was acceptable on the south side. They further stated that that the applicant should provide good graphics at the Recommendation phase of review that illustrate this location. (CS2-II and CS2-D)
- iv. The Board also stated Concept 3 had positive attributes with its public gathering spaces and setback at the base and top to create stoops and a lower scale. There was not specific agreement that Concept three was the preferred option. (PL-3-A-2)
- v. The Board suggested that vertical modulation should be explored on Concept 2 as a way of breaking up its mass and making it feel less stridently modern and monotonous. (DC2-A)vi. Expressing individual units through push and pull of the volume or punching windows was suggested as another potential way of softening option 2. (DC-2-B)



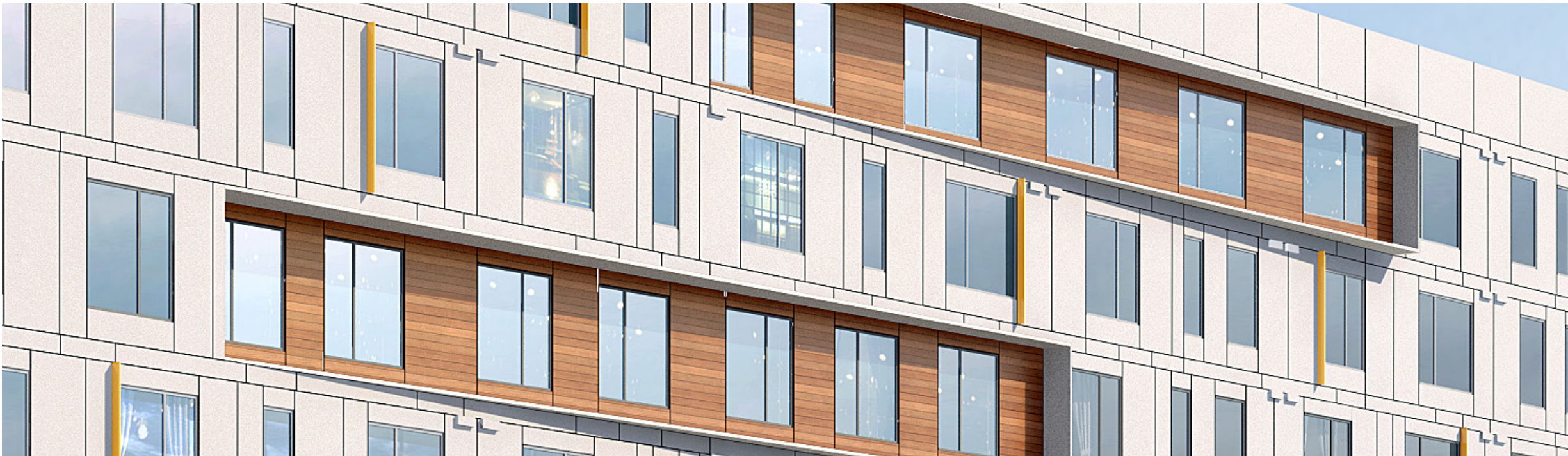
MULTIPLE COLORS USED TO BREAK MASSING



STAGGERED WINDOW

RESPONSE:

The proposed design followed the Board's recommendations and provides a generous setback on the east side. The north end has more setback than the south along this façade. The proposed design provides a generous setback at the base along 35th Avenue. Individual stoops and patios are provided to achieve the neighbourly feel and soften the ground plane. A few recessed angular moves are introduced to the facades break down the mass to make it feel less modern and monotonous. Warm wood look materials are used in these recesses to bring warmth to the material palette as well as human scale. The difference in the window treatments and patterns at the lower and higher levels add another layer of modulation to the facades. Moreover, the smaller mass of the building is expressed in a different color to be perceived as a vertical element. To further break down the mass and express the individuality of the masses, bright colored vertical metal fins are also added to both the west and east facades. This has added more texture and color to the façade.



RECESSED UNITS

EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

2. MASSING AND BULK

b. Board Members indicated that, given the scale of the proposed building, a view from MLK Blvd should be included with the recommendation packet. CS2-II



VIEW FROM NORTH ON MLK JR WAY S

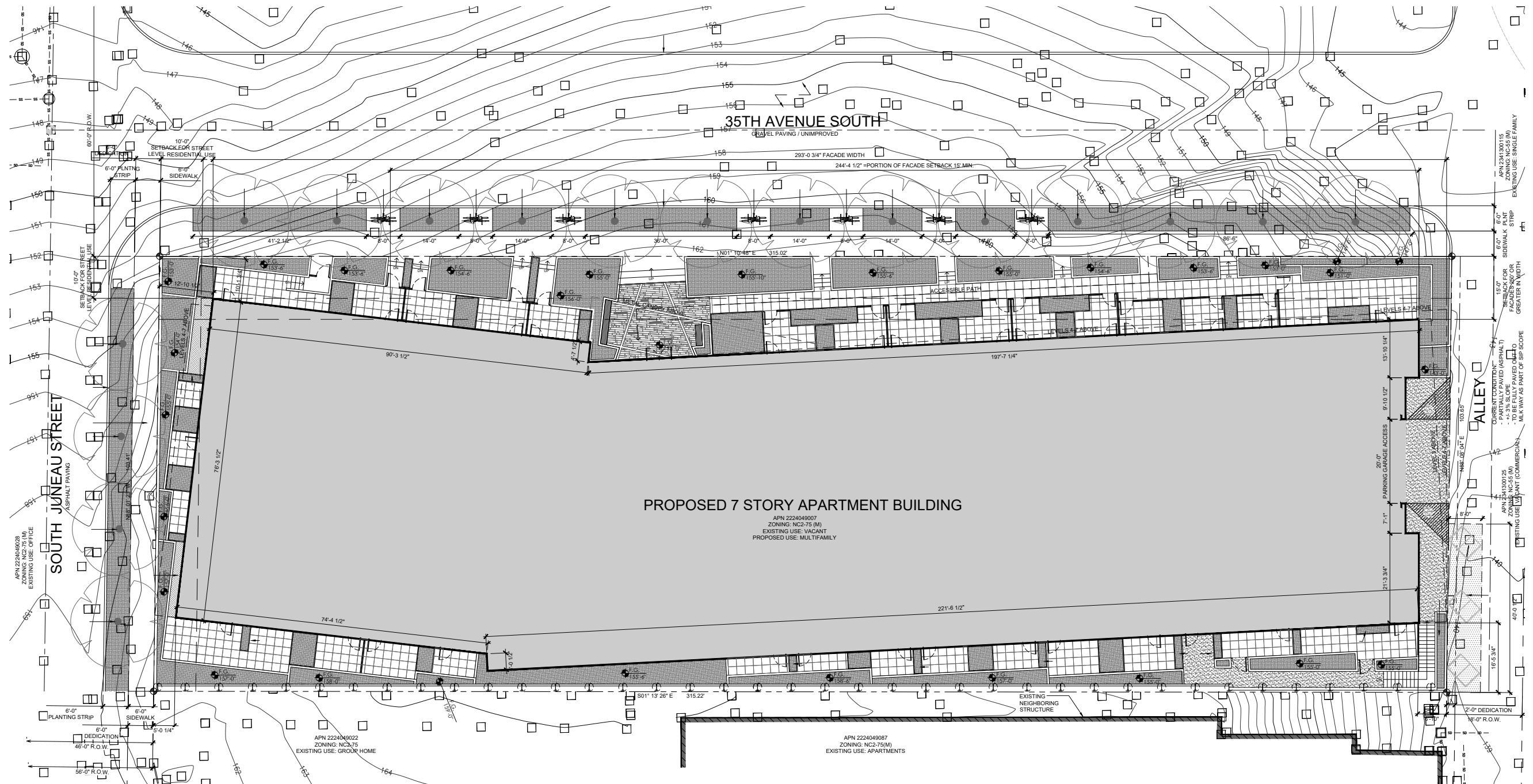
RESPONSE:

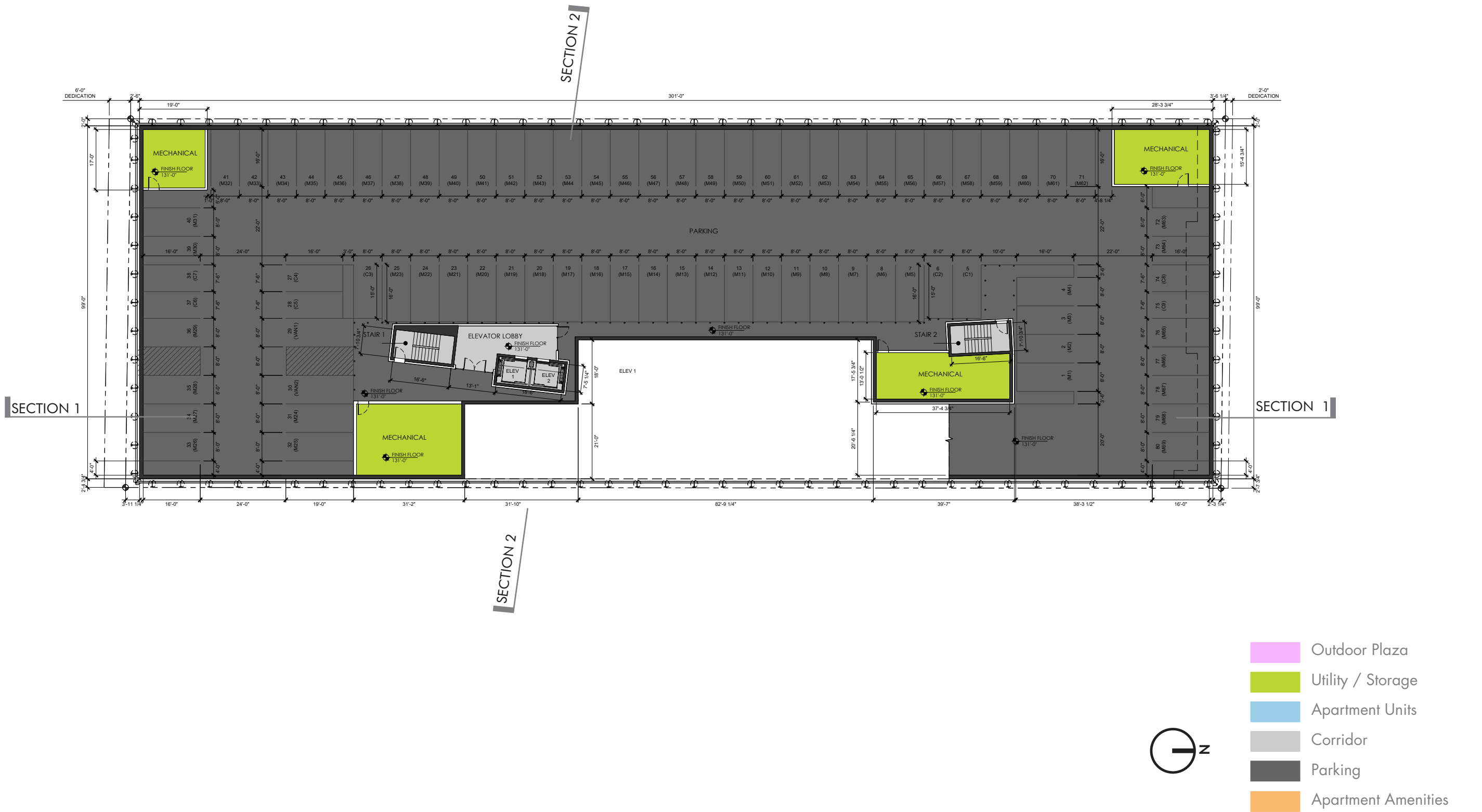
A perspective view MLK Blvd is provided in the packet. As shown, the proposed project is hardly visible from MLK as a result of the drastic elevation change and the heavy vegetation between MLK JR WAY S and the project site.



VIEW FROM NORTH ON MLK JR WAY S

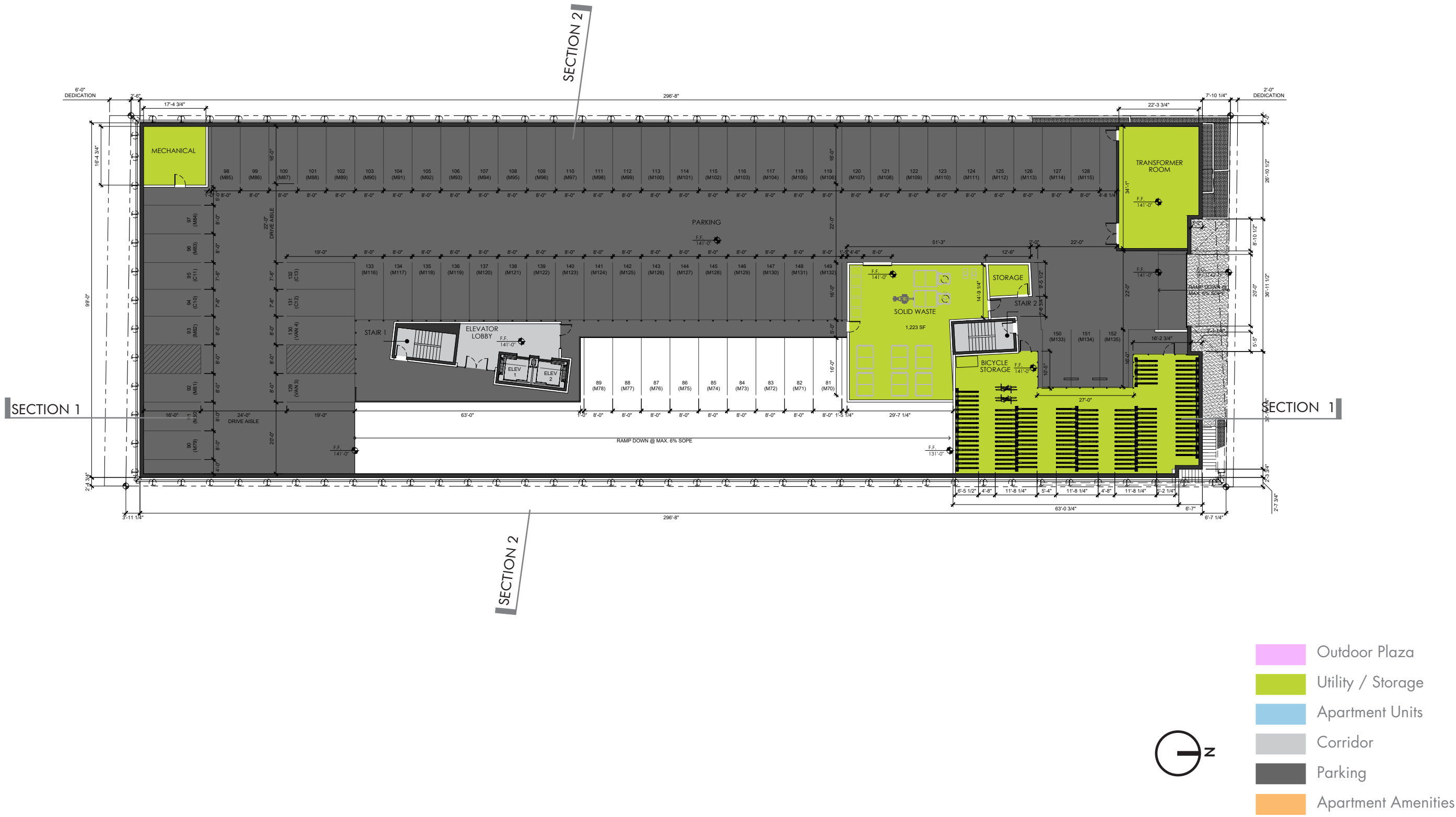
SITE PLAN





FLOOR PLAN

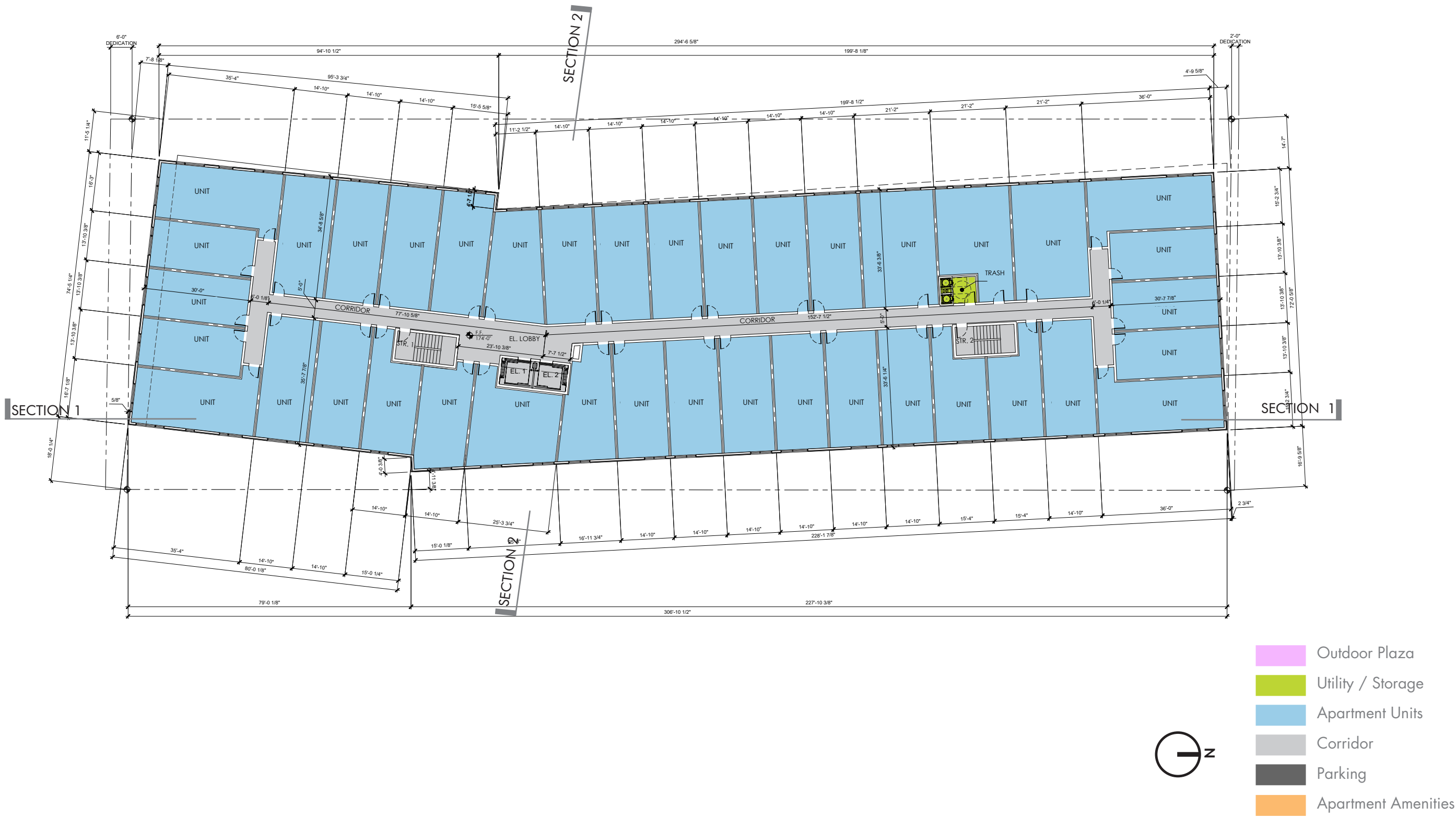
PARKING LEVEL 1



LEVEL 1







FLOOR PLAN

LEVEL 4



FLOOR PLAN

LEVEL 5



FLOOR PLAN

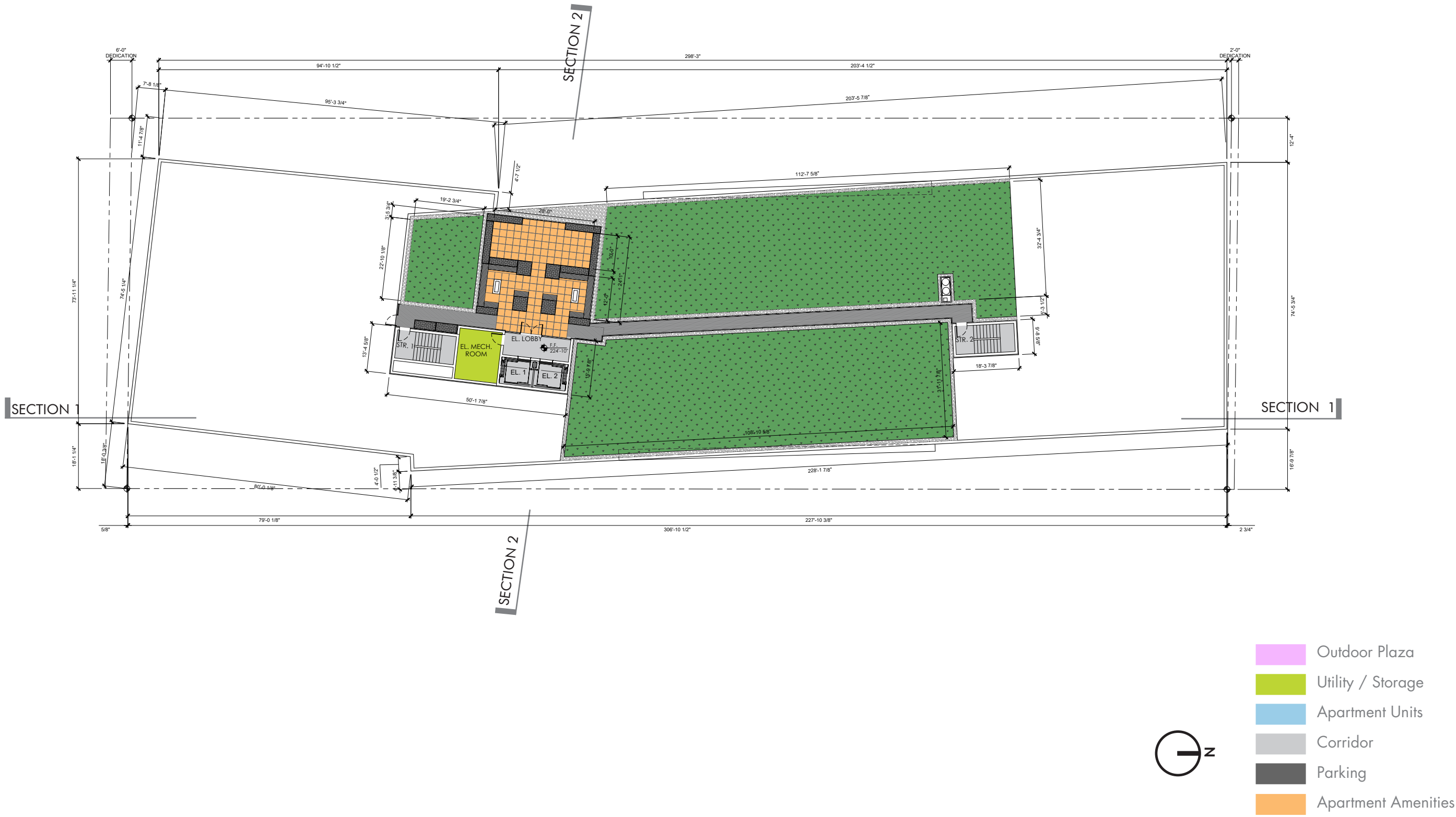
LEVEL 6





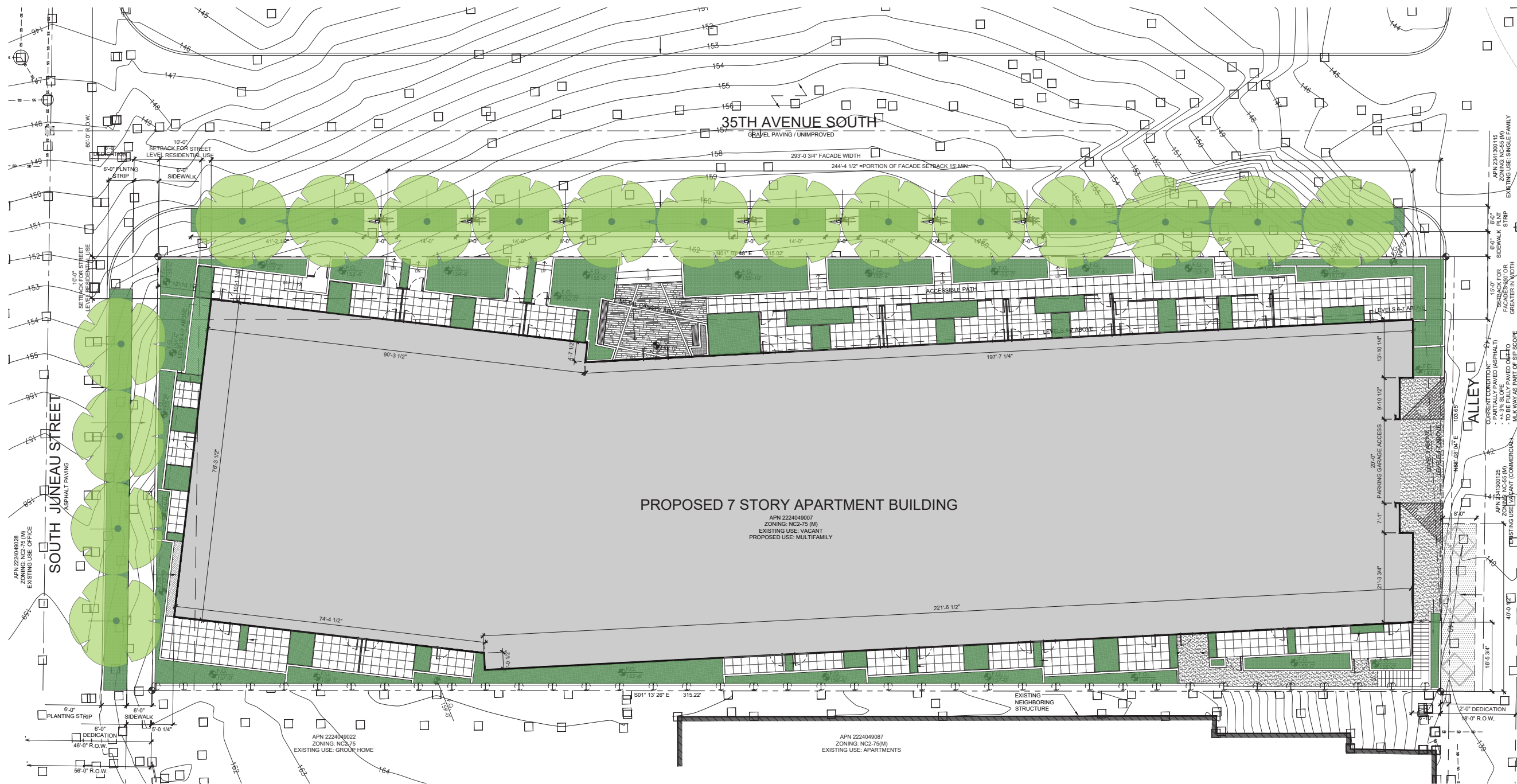
FLOOR PLAN

ROOF LEVEL



LANDSCAPE

SITE PLAN





ELEVATION

WEST



	01 FIBER CEMENT PANEL - COLOR #1		04 METAL FIN - COLOR #4		07 VINYL WINDOWS - COLOR #5		10 ALUMINUM PLANK SIDING WITH WOOD GRAIN PATTERN - COLOR #6		13 UNIT VENTILATION GRILLE - COLOR TO MATCH SURROUNDING SIDING		16 RETAINING WALL BEHIND
	02 FIBER CEMENT PANEL - COLOR #2		05 METAL SHADOW BOX - COLOR #7		08 ALUMINUM STORE FRONT SYSTEM - COLOR #5		11 METAL COPING COLOR TO MATCH SIDING BELOW		14 ARCHITECTURAL CONCRETE PLANTER / RETAINING WALL		17 SHORING WALL BEHIND
	03 FIBER CEMENT PANEL - COLOR #3		06 VINYL WINDOWS - COLOR #1		09 METAL AND GLASS CANOPY WITH C CHANNEL PERIMETER PROFILE - COLOR #4		12 PERFORATED ALUMINUM GARAGE ROLL-UP DOOR		15 FIBERGLASS PLANTER BOX		18 PAINTED CONCRETE WALL - COLOR #2

ELEVATION

SOUTH



	01 FIBER CEMENT PANEL - COLOR #1		04 METAL FIN - COLOR #4		07 VINYL WINDOWS - COLOR #5		10 ALUMINUM PLANK SIDING WITH WOOD GRAIN PATTERN - COLOR #6		13 UNIT VENTILATION GRILLE - COLOR TO MATCH SURROUNDING SIDING		16 RETAINING WALL BEHIND
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ELEVATION

EAST



- | | | | | | | | | | | | |
|---|----------------------------------|---|--------------------------------|---|---|---|---|---|--|---|-------------------------------------|
|  | 01 FIBER CEMENT PANEL - COLOR #1 |  | 04 METAL FIN - COLOR #4 |  | 07 VINYL WINDOWS - COLOR #5 |  | 10 ALUMINUM PLANK SIDING WITH WOOD GRAIN PATTERN - COLOR #6 |  | 13 UNIT VENTILATION GRILLE - COLOR TO MATCH SURROUNDING SIDING |  | 16 RETAINING WALL BEHIND |
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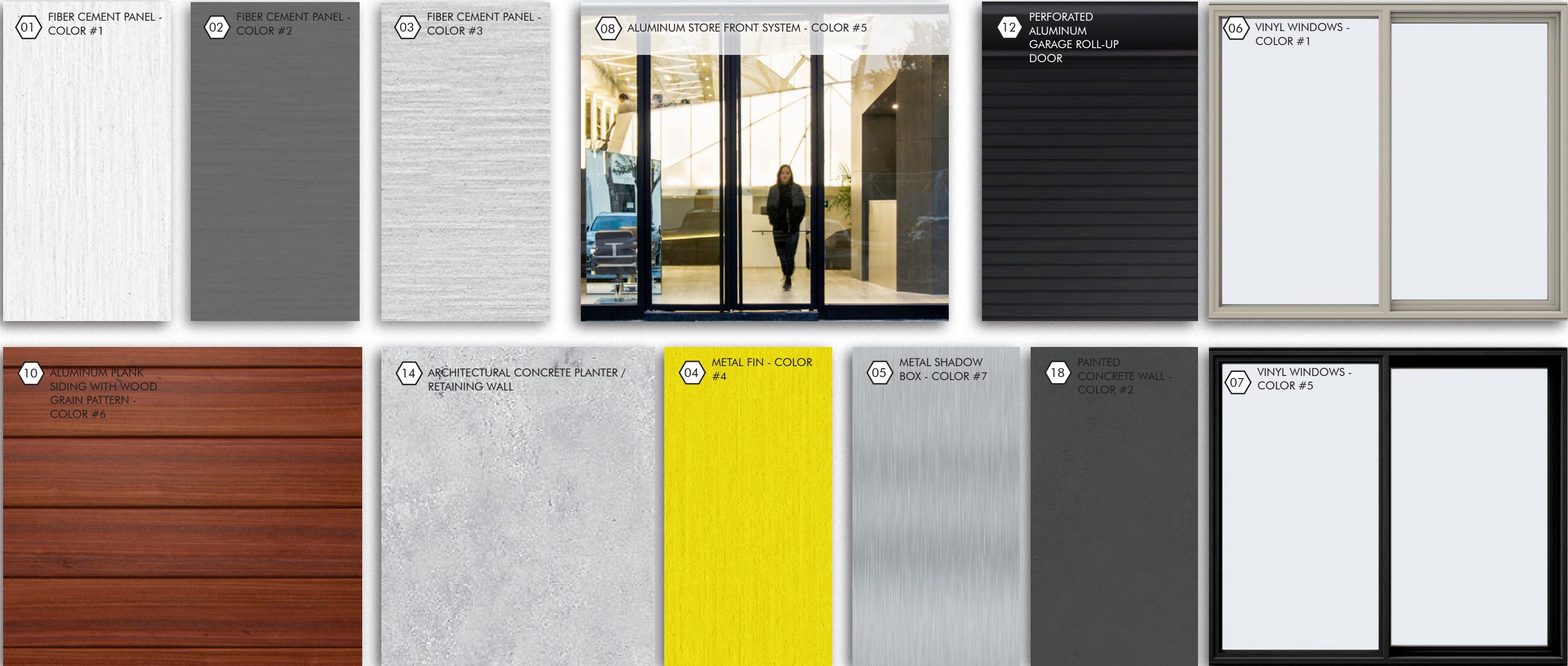
ELEVATION

NORTH

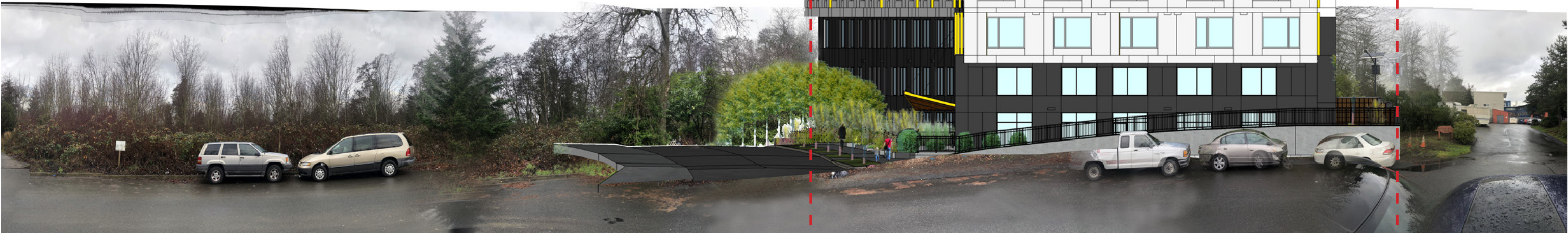


	01 FIBER CEMENT PANEL - COLOR #1		04 METAL FIN - COLOR #4		07 VINYL WINDOWS - COLOR #5		10 ALUMINUM PLANK SIDING WITH WOOD GRAIN PATTERN - COLOR #6		13 UNIT VENTILATION GRILLE - COLOR TO MATCH SURROUNDING SIDING		16 RETAINING WALL BEHIND
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MATERIALS & COLOR



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PROJECT SITE



PERSPECTIVE VIEWS SOUTHWEST CORNER



PERSPECTIVE VIEWS BUILDING ENTRY



PERSPECTIVE VIEWS NORTHWEST CORNER



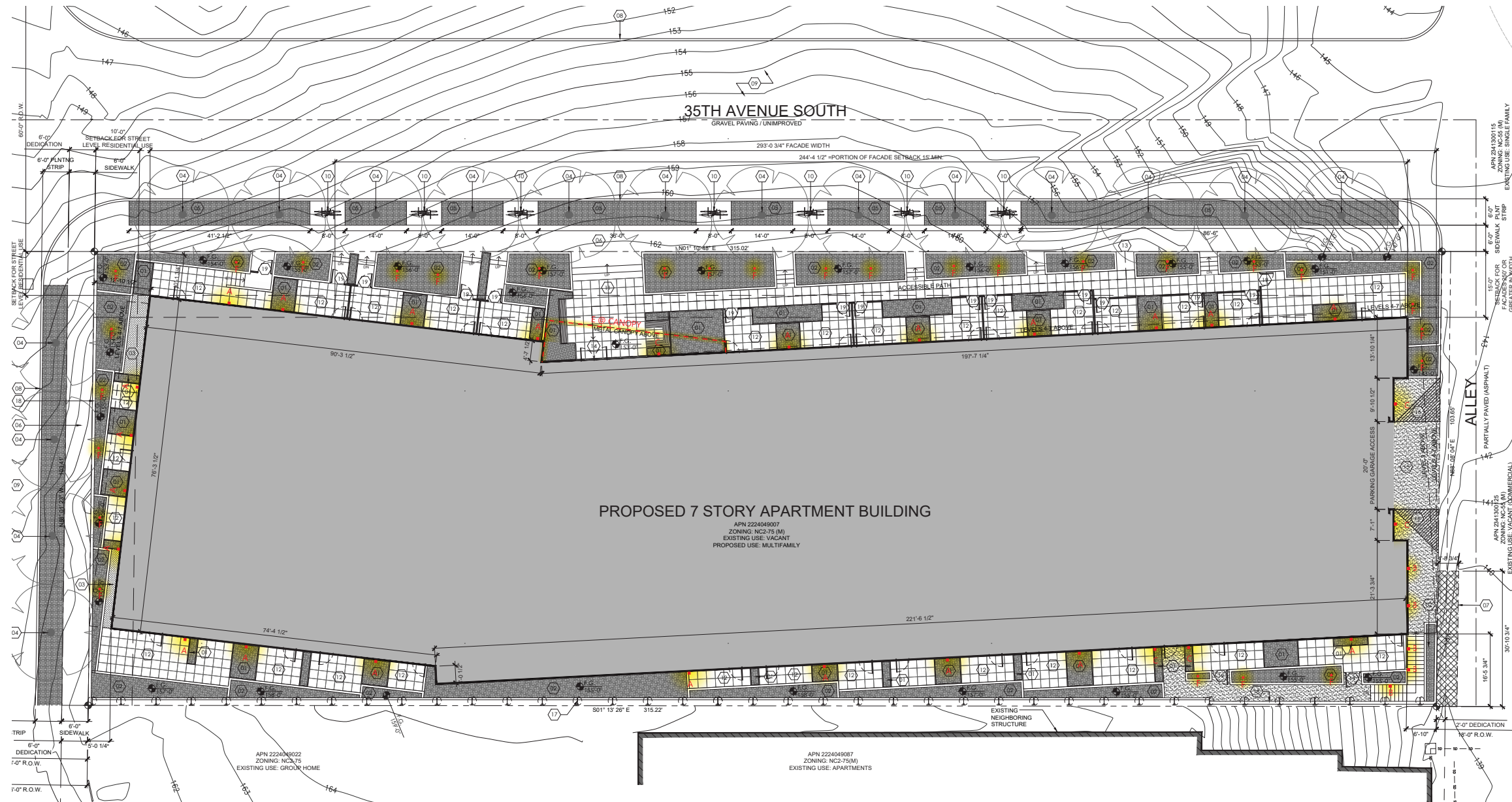






LIGHTING

GROUND PLAN



A. WALL MOUNTED LIGHT FIXTURE



B. WALL MOUNTED STEP LIGHT



C. WALL MOUNTED LIGHT FIXTURE



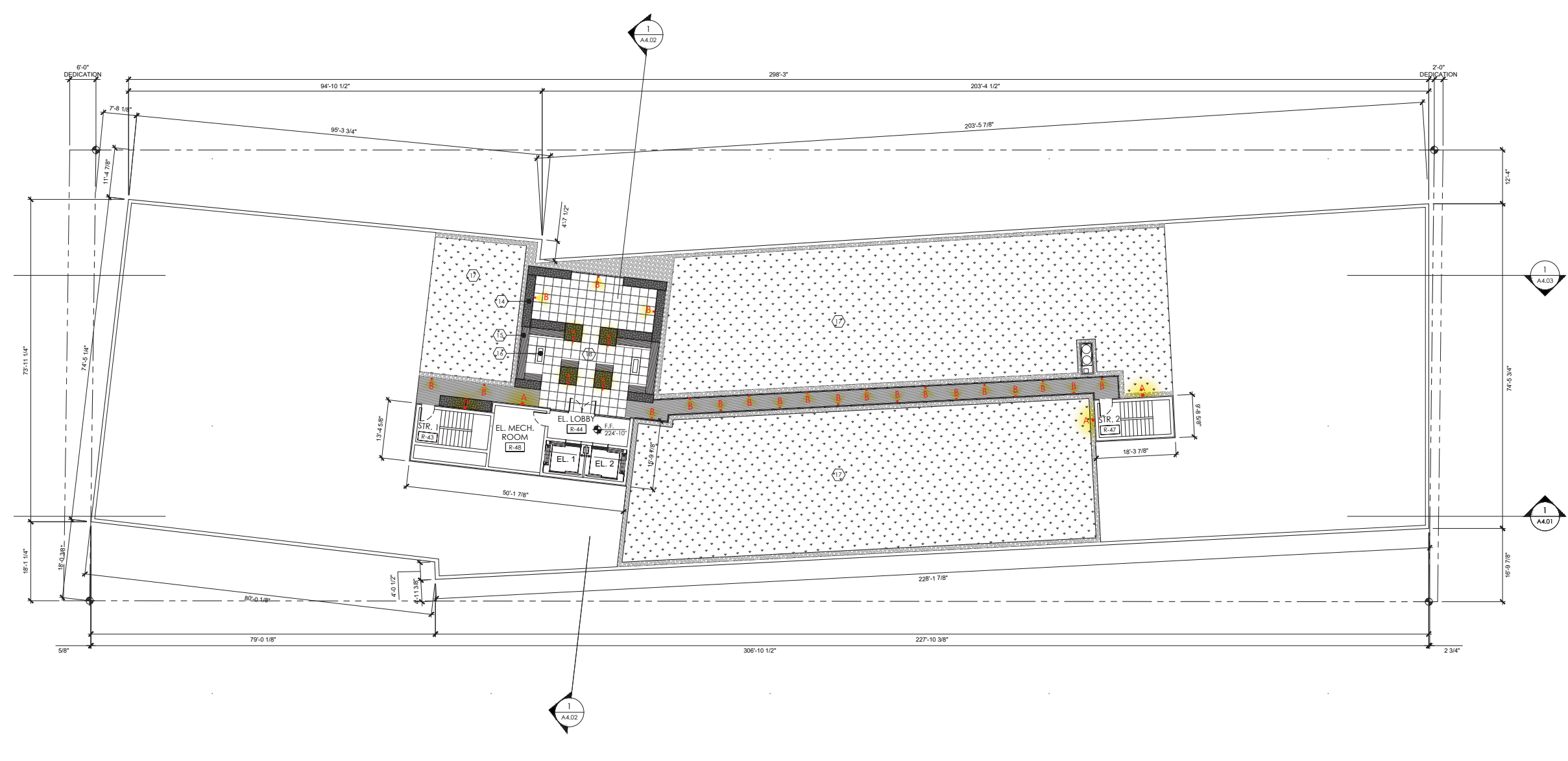
D. RECESSED CEILING MOUNTED LIGHT



E. EXTERIOR GRADE LED STRIP LIGHTING



F. LANDSCAPE IN-GROUND LIGHT FIX- TURE



A. WALL MOUNTED LIGHT FIXTURE



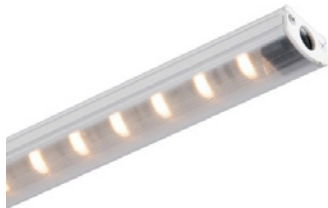
B. WALL MOUNTED STEP LIGHT



C. WALL MOUNTED LIGHT FIXTURE



D. RECESSED CEILING MOUNTED LIGHT



E. EXTERIOR GRADE LED STRIP LIGHTING



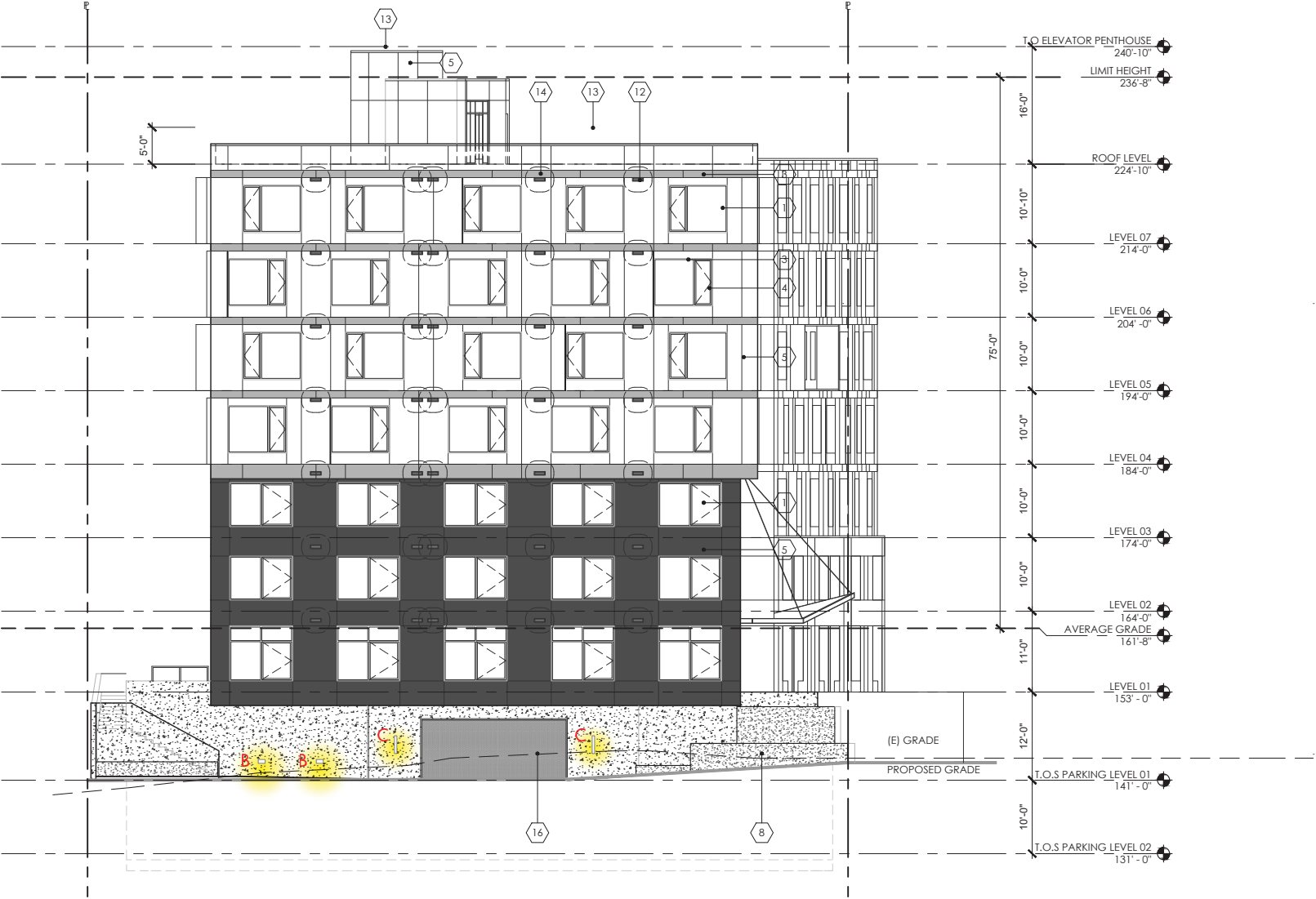
F. LANDSCAPE IN-GROUND LIGHT FIXTURE



G. RECESSED FLOOR MOUNTED LIGHT

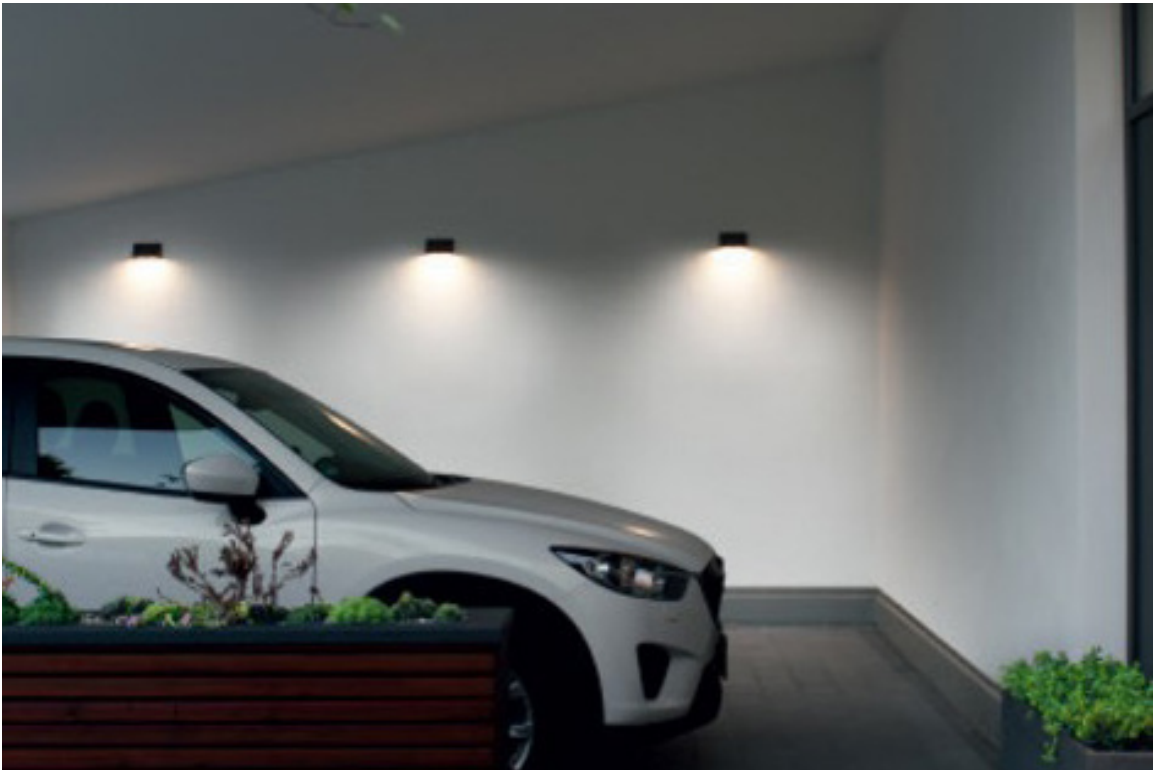












PRODUCT RENDERING
WALL MOUNTED SCONCE (A)



INSPIRATION IMAGE
PLANTER MOUNTED STEP LIGHT GRAZING THE WALKWAY (B)



PRODUCT RENDERING
DOUBLE-SIDED VERTICAL WALL
MOUNTED SCONCE (C)



INSPIRATION IMAGE
RECESSED CEILING MOUNTED LIGHT (D)



INSPIRATION IMAGE
DECK MOUNTED LIGHTING (G)

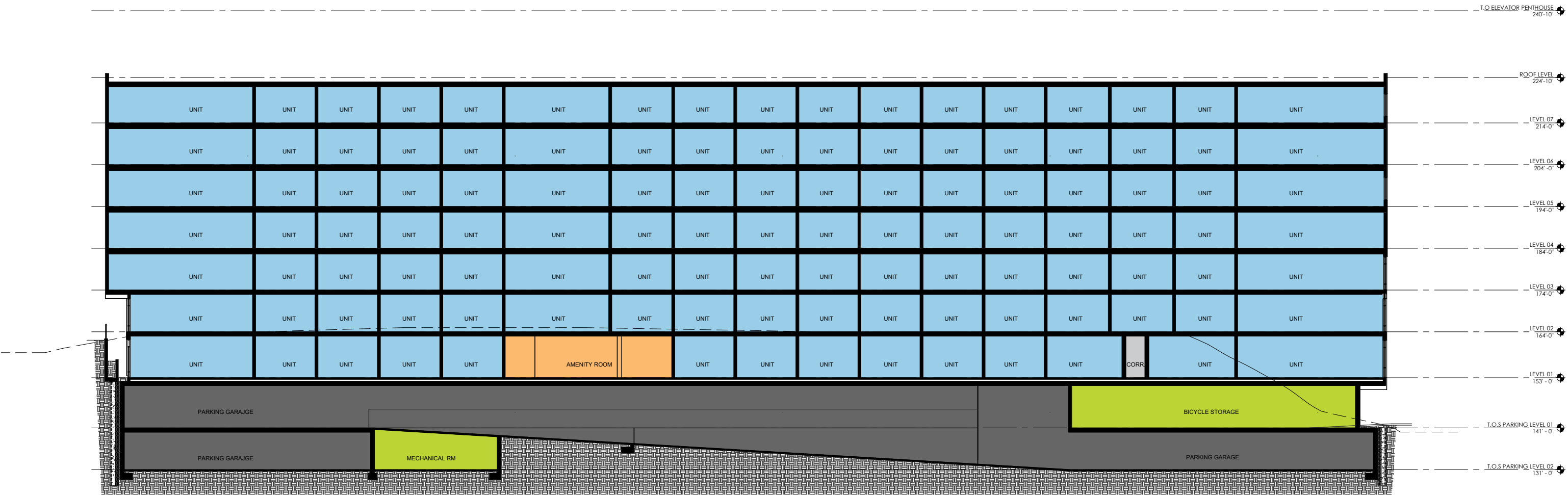


INSPIRATION IMAGE
IN-PLANTER LIGHTING (F)

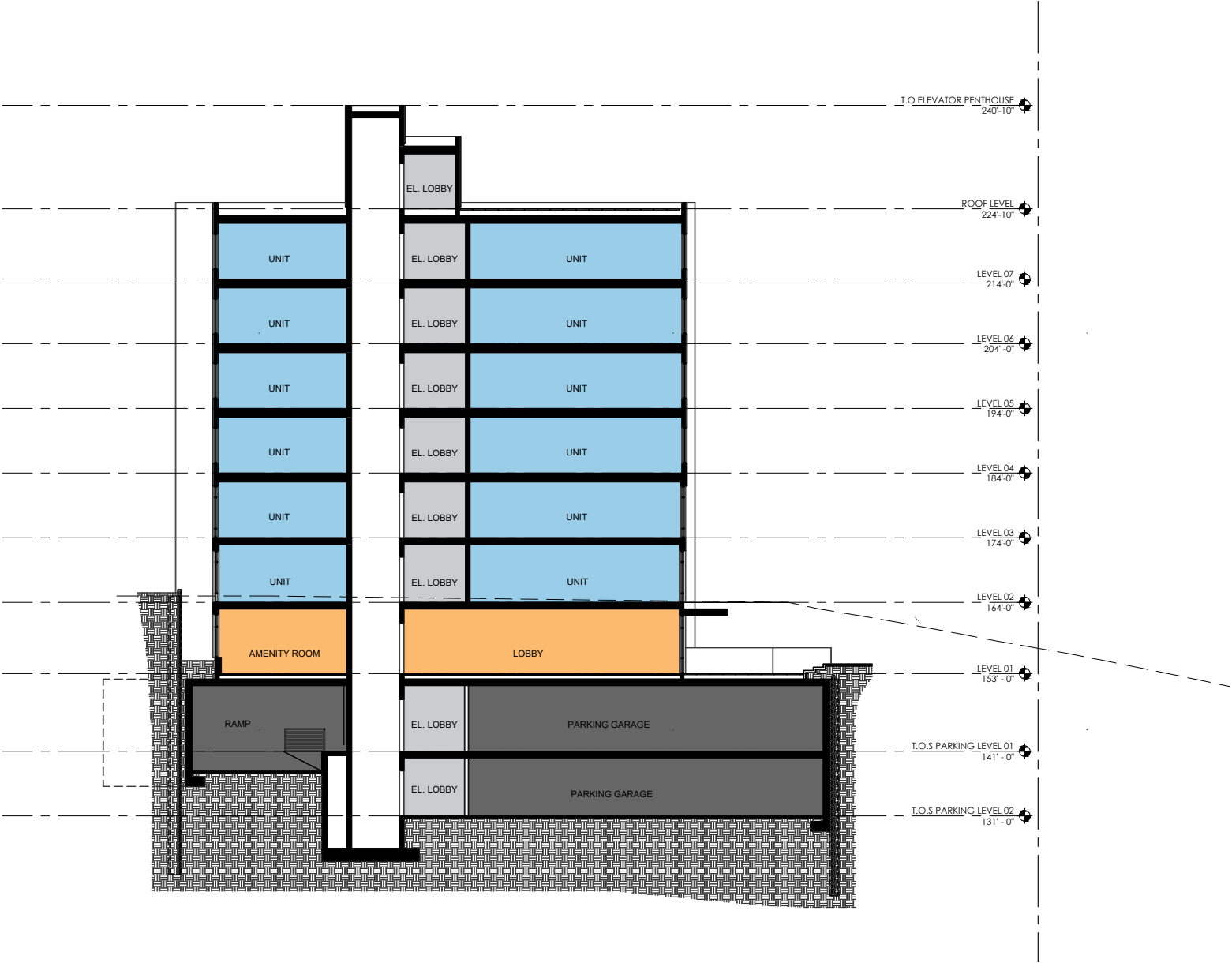
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SECTION 1

NORTH-SOUTH



- Utility / Storage
- Apartment Units
- Corridor
- Parking
- Apartment Amenities



- Utility / Storage
- Apartment Units
- Corridor
- Parking
- Apartment Amenities

DEPARTURE REQUEST

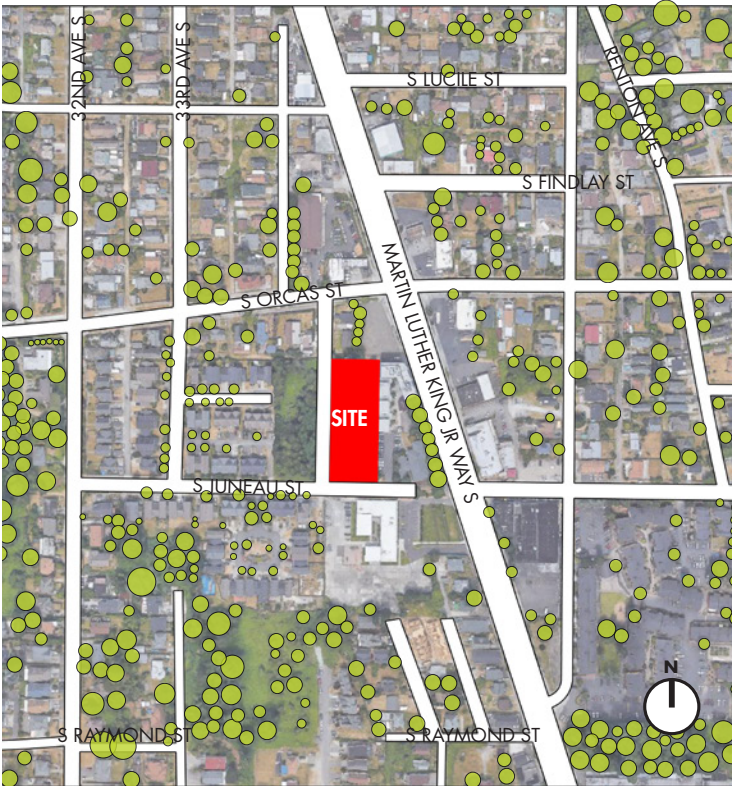
DEPARTURE NUMBER	REQUIRED	REQUEST	JUSTIFICATION
<div><div>1</div><div>D1</div></div>	SMC 23.47A.008.A.2 Blank Facades a. Façade segments are considered blank if they do not include at least one of the following: windows, entryways or doorways, stairs, stoops, or porticos, decks or balconies, or screening and landscaping on the façade itself. Blank segments of the street-facing façade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width. The total of all blank façade segments may not exceed 40 percent of the width of the façade of the structure along the street.	We are requesting an increase of the maximum blank façade length to be 32'-8.5", which is more than the 20 feet allowed. We are also requesting an increase of the maximum percentage of blank façade permitted from 40% to 51.5%.	A departure from this code section is being requested for this one area of the building due to the fact that S Juneau Street is sloping up in one area and the grade is not consistent with the building location. The building has been pulled back from the street to a point where the blank façade will not be recognized at all. This is an abnormality due to the slope of the exiting sidewalk at this location. The entire façade along this frontage has windows placed throughout and will not appear as a blank façade. Please see the Blank Façade Diagram – S Juneau Street on Sheet G0.10 for reference.

APPENDIX

SITE ANALYSIS

TREES

Heavy vegetation to be cleared within the boundaries of the site. Wetland to be preserved. Treeline on the lot to the East provides a visual barrier between the site and MLK Jr Way.

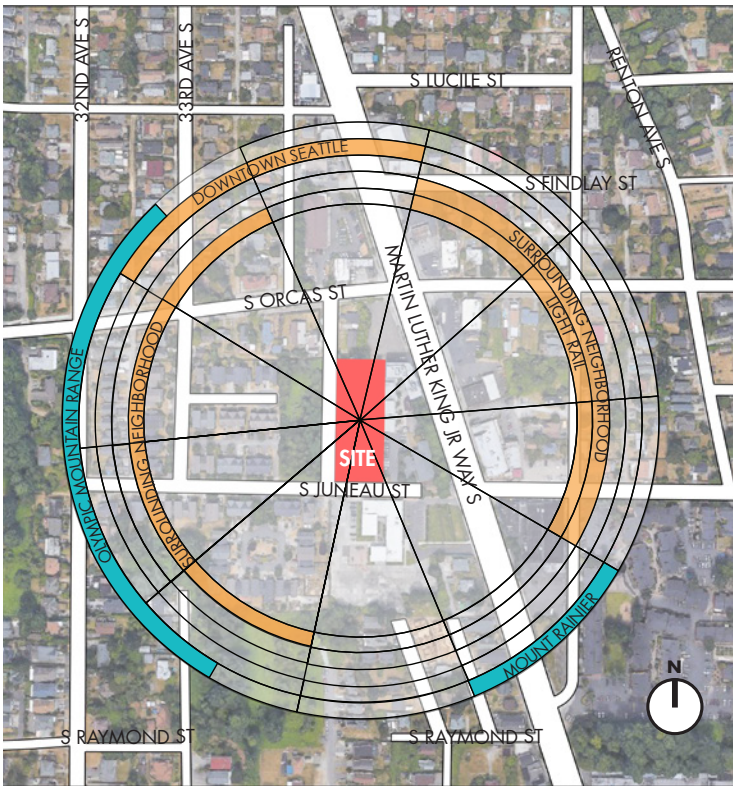


TREES LEGEND

- Site
- Trees

SIGNIFICANT VIEWS

Immediate ground level views are limited due to the heights of the surrounding buildings on the East and heavy vegetation to the West. The upper floors and the building's rooftop will have views of the surrounding neighborhood, Mt. Rainier and the Olympic Mountain range.

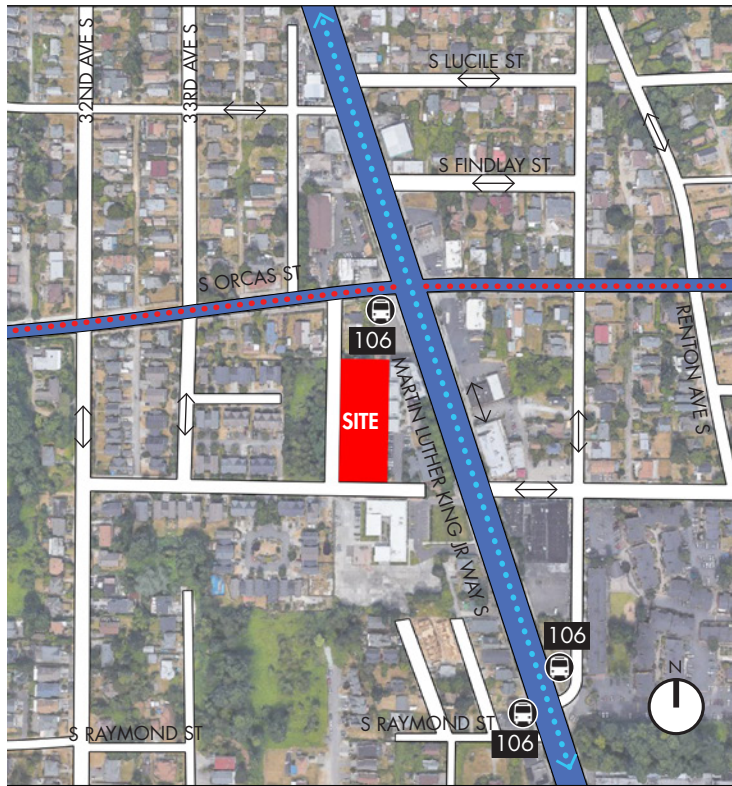


VIEWS LEGEND

- Site
- Neighborhoods and Structures
- Natural Surroundings

ACCESS OPPORTUNITIES + CONSTRAINTS

The site is located near the Southwest corner of the intersection of S Orcas Street and Martin Luther King Jr Way S. Martin Luther King Jr Way S is the most active of the surrounding streets and is a major arterial in this area. There are three nearby bus stops for Route 106, which will take you north to the International District or South to Renton. Route 106 also intersects with several light rail stations such as the Columbia City Station and the Othello Station nearby. A bike trail also runs through S Orcas Street.

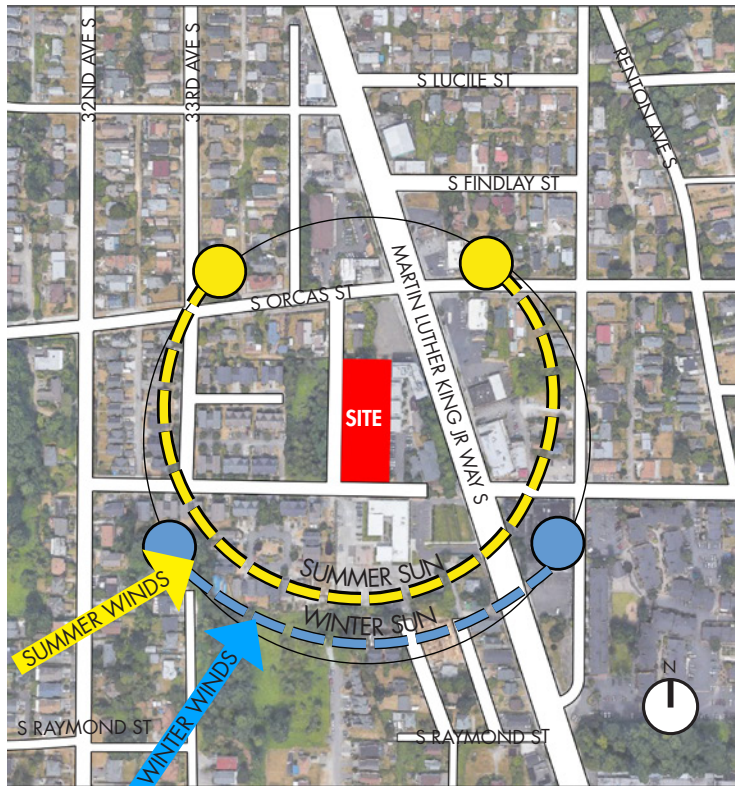


ACCESS/CIRCULATION LEGEND

- Site
- Direction of Traffic
- Arterial Streets
- Bike Routes
- Existin Rail
- Bus Stops

SOLAR EXPOSURE + PREVAILING WINDS

The site is bordered by several one-story and two-story single family houses to the north and west, and a 3 story multifamily building to the east, which could potentially block the sunlight to the lower levels of the proposed structure. The existing structures to the south of the site across the street are relatively short, therefore the southern facades of the proposed structure are expected to receive full sun and wind exposure.



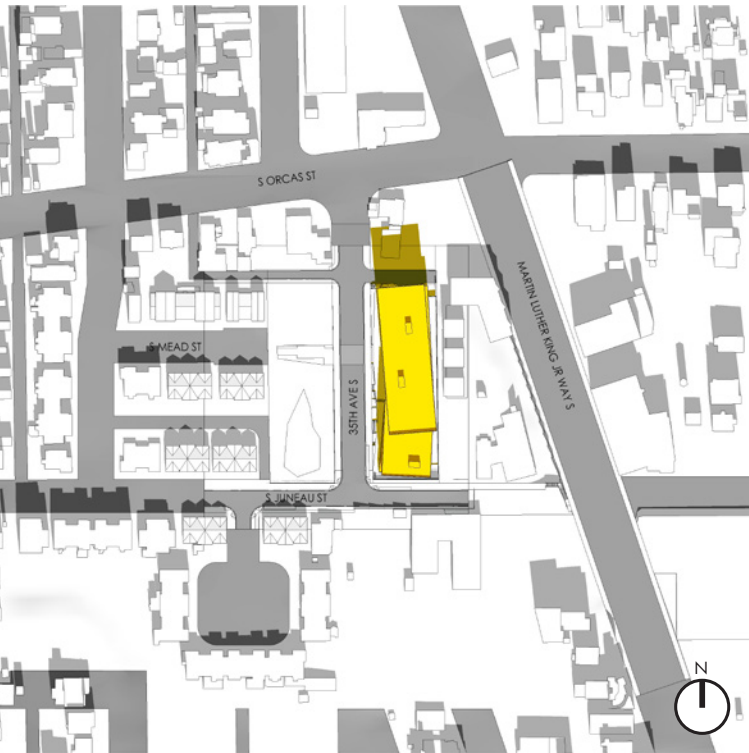
SOLAR / WINDS LEGEND

- Site
- Summer Sun and Winds
- Winter Sun and Winds

APPENDIX SHADOW ANALYSIS



10 AM | SPRING EQUINOX March 20, 2020



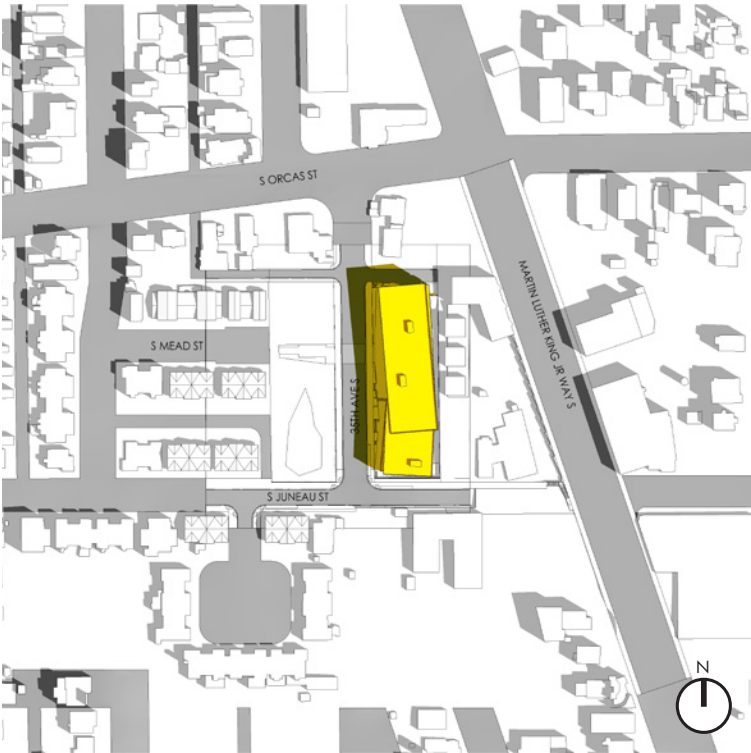
12 PM | SPRING EQUINOX March 20, 2020



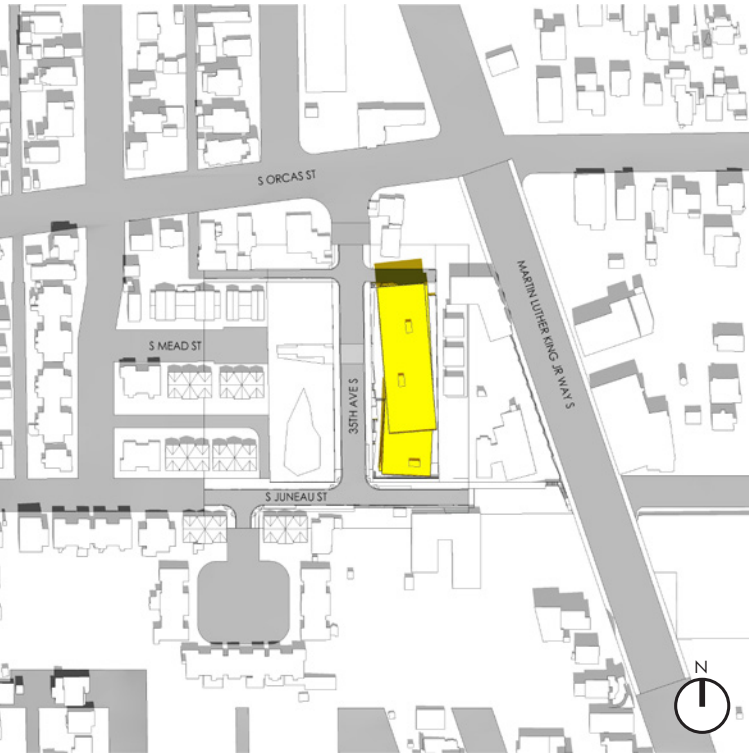
2 PM | SPRING EQUINOX March 20, 2020



4 PM | SPRING EQUINOX March 20, 2020



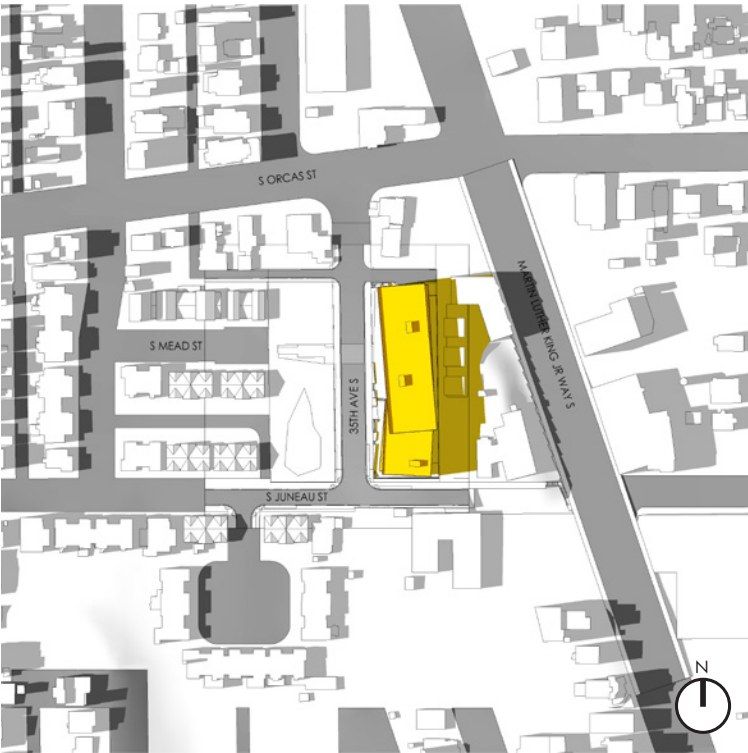
10 AM | SUMMER SOLSTICE June 21st, 2020



12 PM | SUMMER SOLSTICE June 21st, 2020



2 PM | SUMMER SOLSTICE June 21st, 2020

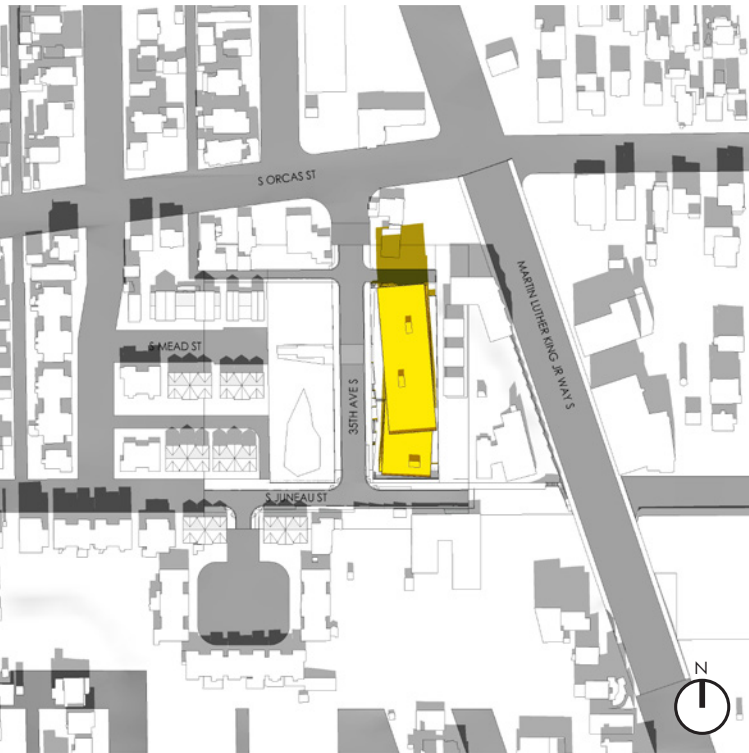


4 PM | SUMMER SOLSTICE June 21st, 2020

APPENDIX SHADOW ANALYSIS



10 AM | AUTUMN EQUINOX September 23, 2020



12 PM | AUTUMN EQUINOX September 23, 2020



2 PM | AUTUMN EQUINOX September 23, 2020



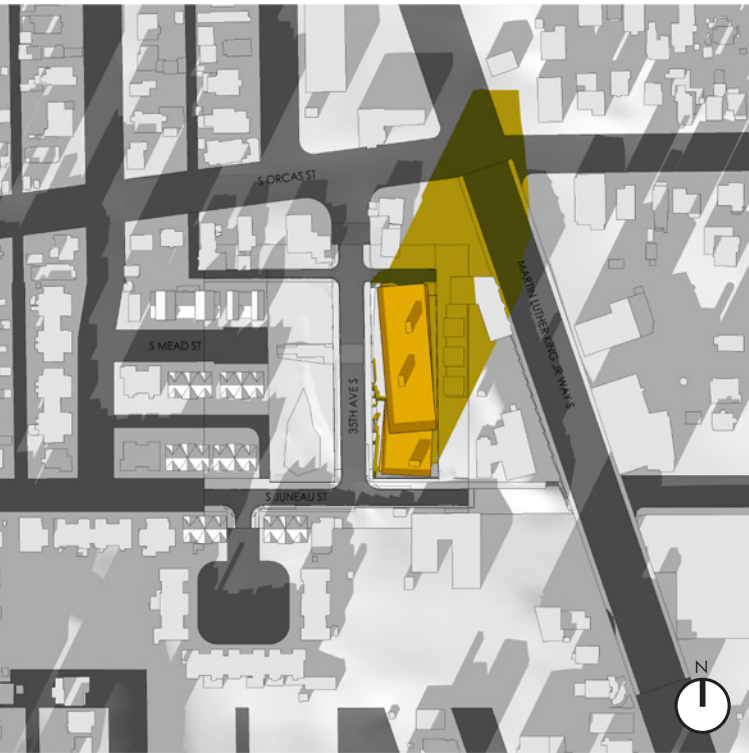
4 PM | AUTUMN EQUINOX September 23, 2020



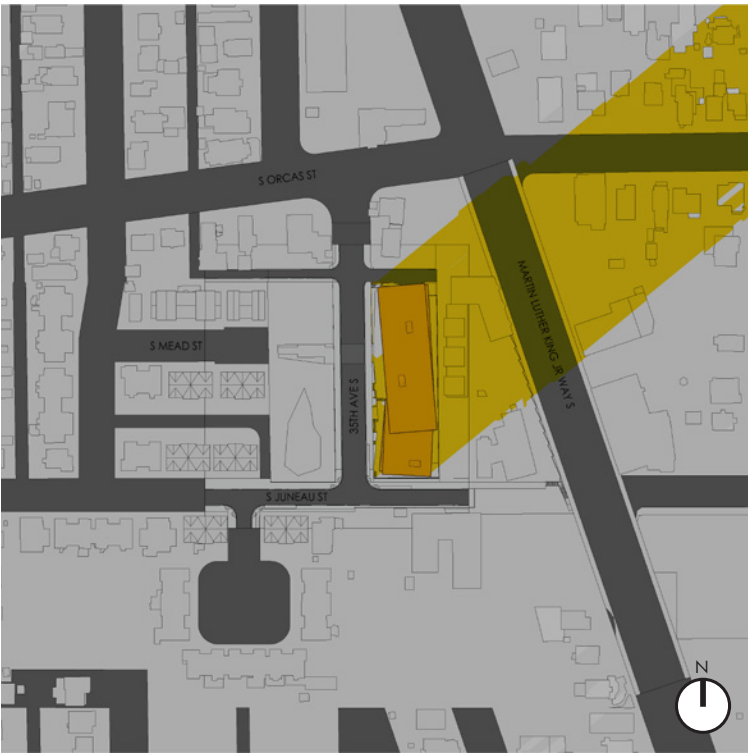
10 AM | WINTER SOLSTICE December 21st, 2020



12 PM | WINTER SOLSTICE December 21st, 2020



2 PM | WINTER SOLSTICE December 21st, 2020



4 PM | WINTER SOLSTICE December 21st, 2020